



CITY OF SUNLAND PARK NEW MEXICO

1000 McNutt Rd. Ste. A • Sunland Park, NM 88063
(575) 589-7565 • Fax (575) 589-1222

OFFICE OF THE MAYOR

May 5, 2020

Mr. Travis Dempsey
Superintendent
Gadsden Independent School District
4950 McNutt Road
Sunland Park, NM 88063

Re: Letter of Objection/No Objection for a Governmental Liquor License - City of Sunland Park,
New Mexico

Dear Superintendent Dempsey,

The City of Sunland Park is applying for a governmental liquor license for use at the City's Sports Complex located at 4700 McNutt Road, an adjoining property to the Santa Teresa Middle School in the Gadsden Independent School District.

In order to proceed, G.I.S.D. must provide a letter of objection or no objection for the proposed license. The license will be used at the Sport's Complex to host events such as the 4th of July holiday celebration and our annual Music at the Park event.

The City of Sunland Park hereby respectfully requests an updated letter of no objection to include language previous approved by the GISD school board in 2015 that stipulates, "...the City advise the school district of events where liquor will be dispensed in the City's Sports Complex so as to avoid conflicts with school events."

Please contact me if you have any questions at javier.perea@sunlandpark-nm.gov or 575-589-7565. Thank you in advance for your time and consideration on this matter.

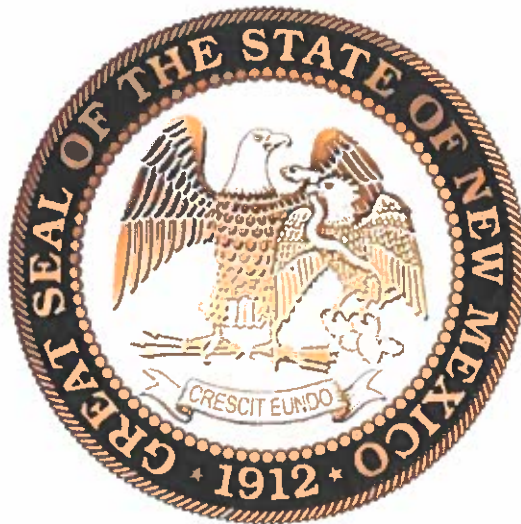
Sincerely,


Javier Perea
Mayor

NM REGULATION AND LICENSING DEPARTMENT
ALCOHOL AND GAMING DIVISION

MAILING ADDRESS: PO BOX 25101 SANTA FE, NM 87504-5101
PHYSICAL ADDRESS: TONEY ANAYA BUILDING
2550 CERRILLOS ROAD, 2ND FLOOR SANTA FE, NM

PH: (505) 476-4875 FAX: (505) 476-4595
www.rld.state.nm.us/alcoholandgaming



GOVERNMENTAL
LIQUOR LICENSE APPLICATION



INSTRUCTIONS FOR GOVERNMENTAL LIQUOR LICENSE APPLICATION

1. The non-refundable application fee of \$200.00, and if applicable, the \$50.00 Resident Agent Fee and \$100.00 Sunday Sale by the Drink Fee, if applicable, must be enclosed. **Keep a copy for your records.**
2. **Checklist**, use to assist you in submitting all the required documentation; **submit with application.**
3. **Appointment of Representative** – If Applicant is represented by an attorney, broker, CPA, etc., include a signed/dated letter, which authorizes AGD to disclose information and allows the appointee to speak/act on behalf of applicant.
4. PAGES 1, 5, and 6 MUST BE SIGNED AND NOTARIZED.
5. Note that all supporting documentation submitted must be in the name of the **APPLICANT**. The **required documentation** such as Tax Registration Certificate, Proof of Tenancy (Lease/Deed), Bills of Sale, etc., **must be in the name of that entity.**
6. **Fingerprints <OBTAIN FINGERPRINT PACKET FROM AGD WEBSITE FOR INSTRUCTIONS AND FORMS:** Because the Liquor Control Act does not allow for a Convicted Felon to own or be an officer on a Liquor License, this Agency requires such persons to be fingerprinted to receive the background reports from the State and Federal level.

Fingerprints are required for the Applicant and each Principal Officer/Director/Resident Agent listed, **only** if they have never submitted fingerprints to this agency before, or if there has been an arrest record after date fingerprints were submitted, they'll need to register with Cogent online at www.cogentid.com If fingerprints cannot be done by Livescan with Cogent, please contact AGD at (505) 476-4875 or consult AGD website for instructions.

REQUIRED DOCUMENTS:

PAGE 1 – APPLICATION

1. **Tax Registration Certificate** – A copy of the New Mexico Tax Registration Certificate (CRS Identification Number) in the name of the Applicant (sole proprietor, Corporation, LLC etc.) issued by the New Mexico Taxation & Revenue Department. Applicants may obtain this documentation at any field office, call (505) 827-0700, or online.
2. **Licensing Fee – \$1,300.00**, which will only be accepted at Final Review, applicant will be notified when to submit this.

PAGE 2 – PREMISES, LOCATION AND DESCRIPTION

1. **Proof of Tenancy (Lease, Warranty Deed or Real Estate Contract)** – A complete copy of the fully executed Lease Agreement, Warranty Deed or Real Estate Contract, for the premise in the name of the Applicant.
 - a. The Lease Agreement must be signed by both parties (Lessor and Lessee). All Exhibits, Addendums to Lease Agreement, Amendments to Lease Agreement, or Subleases must accompany the Lease Agreement.
 - b. If Lease Agreement does not address Permitted Use of the sale, service and/or manufacturing of alcohol on the premises, you must submit an Addendum permitting this use.
 - c. The Warranty Deed must be a filed and recorded copy.
2. **Zoning Statement** – A copy of the Zoning Statement for the proposed premises, must be current/within one year of application date, issued by the Local Governing Body, on official letterhead. Contact your city or county clerk for contact information for the zoning office in your area. The Zoning Statement **must include each of the following:**
 - a. The complete physical address of the proposed establishment.
 - b. Zoning type (example: C-1, Commercial).
 - c. A Statement regarding Permitted Use for the type of liquor license being applied for – need permission for Manufacturing, Production, Storage and Selling alcoholic beverages. (example: On-premises consumption of alcohol is a permitted use within this zone; with or without Patio Service permitted; Manufacturing permitted use; Sale of packaged alcohol for off-premises consumption permitted use).
3. **Detailed Floor Plan with Photos** – A Floor Plan for the proposed premises, showing the entrances/exits, kitchen, storage, sale, service, and consumption areas. All areas must be completely labeled. Submit legible Plan, that may be hand-drawn or architect drawing, on an 8½ x 11” sheet of paper **for each floor**. Please **DO NOT** submit blueprints. Drawing must indicate:
 - a. Name of Applicant, Physical Address and clearly mark which direction is North.
 - b. Location of the main street in relation to the licensed premises.
 - c. Label Floor Plan, and show Storage areas; Layout must show the entrances, exits, and storage areas.

- d. List Total Square Footage, including Patio, if applicable (example: 2,500 square feet or 2,000 +500 patio =2,500).
 - e. Show any and all Patios and/or Outside Areas, indicate how they are permanently enclosed to prevent alcohol from leaving the premises. Label the type of enclosure used and the height, include photos. (example: 6 foot adobe wall with 5 foot wood gate).
4. **Photos** – include Interior of premises, storage of alcohol, and Exterior /patio and fencing, if applicable.

Only if proposed premises is between 300 and 400 feet of the nearest church or school, you will need:

5. **Surveyor's Certificate** – A certified copy of the Surveyor's Certificate (Plat), showing the measurement from the nearest point of the proposed premises to the nearest point of the church or school property line. All measurements should be taken by shortest direct line.
- or,
6. **Waiver** – A copy of the approved Waiver from the Local Governing Body, on official letterhead. You may want to obtain a Letter, on official letterhead, from the Church or School in question, indicating whether or not they object to the application and/or issuance of a liquor license at the proposed location, which will assist the Local Governing Body to make a waiver determination.

ENTITY PAGE 3 - REQUIRED

Full disclosure totaling 100% is required. Each individual, Official, Principal Officer, Director, Member, Manager, applying for license must complete the **Personal Data Affidavit form**. **Each individual, Official, Principal Officer, Director, Member, or Manager that run operations, on-site Managers, Managing Members and Resident Agents must obtain and/or maintain a valid Alcohol Server Certification Permit and submit Fingerprints.**

PAGE 5 - DESIGNATED RESIDENT AGENT:

1. An Applicant who is not a sole proprietor is required to submit information regarding a New Mexico resident, who is not a felon, to act on behalf of the company and accept service of process for all purposes relating to the sales and service of the alcoholic beverages, including orders and notices of the Director and/or the Division.
2. The Resident Agent form must be completed, signed, and notarized in two places.
First Section – the Appointment section, is to be completed and signed by an officer, director or a shareholder, holding a 10% interest or more, who has been fingerprint qualified. **This signature must be notarized.** In this section, the applicant will list the name of the chosen Resident Agent.
Second Section – the Acceptance section, must be completed and signed by the individual who has been designated as the Resident Agent by the Applicant. **The signature of the Resident Agent must also be notarized.**
3. The individual designated as Resident Agent must complete a Personal Data Affidavit Form. **Note:** All entities must file a new application for Resident Agent each time there is a change in agents.
4. **Each Resident Agent MUST BE:** Fingerprinted; Hold a current Servers Certification Permit, attach a copy to application; an individual, at least 21 years of age, and at time of application; A Resident of the State of New Mexico and remain a resident of New Mexico; Cannot have been convicted of a felony or of two misdemeanor violations of the Liquor Control Act in any calendar year.

PAGE 6 – PERSONAL DATA AFFIDAVIT:

Submit this page for each individual applicant, each Principal Officer and Director of a Corporation, each Stockholder (individual) owning 10% or more of the stock in Applicant Corporation, each individual Limited or General Partner, and each Resident Agent for a Corporation, and each Manager and Member of LLC with 10% or more interest.

As part of the application, EACH individual, Principal Officer, Director, and Shareholder who owns a 10% interest or more, applying for license must complete the Personal Data Affidavit Form.

All Owners, on-site Managers and Resident Agents must obtain or maintain a valid Alcohol Server Certification Permit. Everyone who sells or serves alcohol in the state of New Mexico is required to obtain a permit by taking a New Mexico approved Alcohol Server Education class. This includes all Bartenders, Waiters, Managers, Liquor License Owners, Convenience or Grocery Store Clerks, and the Designated Resident Agent for the License.

PAGE 7 – SUNDAY SALES:

Sunday Sales by the drink are only permitted in those local option districts in which Sunday Sales have been approved by the voter. **Sunday Sales by the Drink Fee: \$100.00**

Please Note: The Director may require additional information or supporting documentation to complete the application.



AGD USE ONLY: Payment| Application Fee \$ _____ Received on: _____ Receipt No. _____
License Fee \$ _____ Received on: _____ Receipt No. _____
Application # _____ Local Option District: _____

GOVERNMENTAL LIQUOR LICENSE APPLICATION

\$200.00 Application Fee, non-refundable.

Governmental Entity |Type: Municipal County State Fair State Fair Commission
State University State Museum Spaceport Authority

NAME OF APPLICANT /Government Entity:
City of Sunland Park, New Mexico

Contact Name: Javier Perea Telephone Number: 575-589-7565

Email Address (required): javier.perea@sunlandpark-nm.gov

Mailing Address: 1000 McNutt Suite A, Sunland Park NM, 88063

Entity that will Administer Use of License: City of Sunland Park NM

D/B/A NAME TO BE USED: City of Sunland Park Business Phone #: 575-589-7565

Physical location where license is to be used: (Include street # / highway # / state road, city, state, and zip code)
4700 McNutt Rd., Sunland Park, New Mexico 88063

County: Doña Ana

Are alcoholic beverages currently being dispensed at the proposed location? Yes No If Yes, License # / Type: _____

Will License be operated by employees of the Governmental Agency? Yes No, and I understand that because the license is not operated by our employees, the Lessee/Operator must file a separate Lease Application prior to operating under the license; Any operation of the license by unauthorized persons may result in the revocation of the license.

Agent/Contact Person: Javier Perea Phone#: 575-589-7565 Email: javier.perea@sunlandpark-nm.gov

Sign before a Notary Public:

I, (print name) Javier Perea, as (title) Mayor
being first duly sworn upon oath deposes and says: that he/she is the applicant or is authorized by the applicant to make this application; that he/she has read the same; knows the contents therein contained are true. Applicant(s) agree(s) that if any statements or representations herein are found to be false, the Director may refuse to issue or renew the license or may cause the license to be revoked at any time.

Signature of Applicant: _____ Date: _____

NOTARY PUBLIC USE ONLY: (State of _____, County of _____)

SUBSCRIBED AND SWORN TO before me this _____ day of _____, 20_____

By: _____ Notary Public: _____

My Commission Expires: _____

SEAL

FOR ALCOHOL AND GAMING DIVISION USE ONLY: Approved Disapproved

Signed by Director: _____ Date: _____



PREMISES LOCATION, OWNERSHIP, AND DESCRIPTION

NMSA §60-6B-10

1. The land and building which is proposed to be the licensed premises is: (check one)

Owned by Applicant, copy of deed/document attached Leased by Applicant, copy of lease/document attached

Other (provide details): _____

2. If the land and building are not owned by Applicant, indicate the following:

A. Owner(s): _____

B. Date and Term of Lease: _____

3. Premises location is Zoned (example C-1, see Zoning Statement): **C-2 Commercial District**, _____

Zoning Statement attached, which must be obtained from the Local Government, listing the proposed location by address, Type of Zone, state whether alcoholic beverages are allowed at proposed location, and if applicable, whether packaged sales, patio service and/or manufacturing is allowable. If there is no zoning in the proposed location, attach Statement from the local government, indicating there is no zoning.

4. Distance* from nearest Church: (Property line of church to closest point of licensed premises—shortest distance)

Name of Church: **Santa Teresa Presbyterian** Miles/feet: **1.4 Miles**

Address/location of Church: **5400 McNutt Rd., Santa Teresa NM, 88008**

5. Distance* from nearest School: (Property line of school to closest point of licensed premises—shortest distance)

Name of School: **Santa Teresa Middle School** Miles/feet: **.4 Miles**

Address/location of School: **4800 McNutt Rd-Adjoining parcel**

6. Distance from military installation *(Property line of military installation to closest point of licensed premises-shortest distance.)

Name of Military Installation, circle one: Kirtland Air Force Base (Albuquerque), White Sands Missile Range (Las Cruces),
 Miles: **65.1** Holloman Air Force Base (Alamogordo), Cannon Air Force Base (Clovis)

7. Attach Detailed Floor Plan, must include the Total Square Footage of premises; List nearest cross street; Show which direction is North; Show each level (floor) where alcoholic beverages will be sold or consumed, exterior walls, doors, and interior walls; Patio Area with type of barrier used; Highlight Bonded Areas. The floor plan should be no larger than 8½ x 11 inches and **must be labeled** with designated areas highlighted, which will reflect the proposed Licensed Premises.

8. Type of Operation: Hotel Lounge Package Grocery Restaurant Racetrack

Small Brewer Craft Distiller Winery Wholesaler

Other (specify): **Sports Complex**

*NOTE: If the distance is beyond 300 feet, but less than 400 feet, a Registered Engineer or Licensed Surveyor must complete a Survey Certificate showing the exact distance.



GOVERNMENTAL ENTITY - NMSA §60-6B-2.A

Name of ENTITY: **City of Sunland Park-Municipality**

Date Established: **1984**

Mailing Address: **1000 McNutt Rd. Ste. A**

Provide Title, Full Name, Address of Officials /Members /Commissioners of Entity /Managers applying for Governmental License.

Title and Name	Complete Address
Mayor Javier Perea	1000 McNutt Rd., Ste. A, Sunland Park, NM 88063

USE ADDITIONAL PAGES IF NECESSARY.

Has Entity ever had a liquor license in which it held any interest in any State suspended or revoked? No Yes, if so, provide details: _____

List every liquor license in which the Entity holds any interest, direct or indirect: None See Attached As follows: _____

Has any principal Officer, Director or member of the Entity ever been convicted of a felony? No Yes, detailed as follows: _____

NOTE: Each Official, Board Member, Commissioner, Officer, Manager and Director of the Entity must submit a **Personal Data Affidavit Form** (page 6) and note that a copy is only valid for up to 5 years then a new PDA must be submitted. All Managing Members and Directors directly involved with the management and/or daily operations involving alcohol license must submit Fingerprints and also be Server Certified.



AGD USE ONLY: Payment| Application Fee \$ _____ Received on: _____ Receipt No. _____

DESIGNATION OF RESIDENT AGENT – \$50.00 non-refundable fee

Name of Entity: (print) City of Sunland Park, New Mexico Municipality Liquor License # _____

D/B/A Name: City of Sunland Park Sports Complex

KNOW ALL MEN BY THESE PRESENT that the above-named Company hereby makes, constitutes and APPOINTS:

(Print Appointee's Name) Javier Perea, to act as Resident Agent on behalf of the company and accept service of process for all purposes relating to the sales and service of the alcoholic beverages, including orders and notices of the Director and/or the Division. (Check one)

Initial Resident Agent Adding another Resident Agent Replacing Resident Agent, remove: _____

Appointed and Submitted by an Authorized Officer of Corporation/ LLC/ Partnership/ Trust:

Sign in the presence of a Notary Public.

Signature: _____ Title Mayor

ACKNOWLEDGEMENT BY OFFICER APPOINTING AGENT

NOTARY PUBLIC USE ONLY: (State of _____, County of _____)

SUBSCRIBED & SWORN TO before me, this _____ day of _____, 20____

By: _____ Notary Public: _____

SEAL

My Commission Expires: _____

ACCEPTANCE OF APPOINTMENT BY RESIDENT AGENT

I, (print name) Javier Perea, accept the appointment as Resident Agent, and by accepting this appointment hereby Certify that I am a Resident of the State of New Mexico. I am also the Resident Agent for the following New Mexico

Liquor License(s): _____, _____, _____, _____

Residence Address: 1000 McNutt Rd. Ste. A

City: Sunland Park State: New Mexico Zip: 88063 Phone # 575-589-7565

Alcohol Server Permit # _____ Expires on: _____, *Required to Attach Copy*

Sign in the presence of a Notary Public.

Signature of Resident Agent: _____ Date: _____

ACKNOWLEDGEMENT

NOTARY PUBLIC USE ONLY: (State of _____, County of _____)

SUBSCRIBED & SWORN TO before me, this _____ day of _____, 20____

By: _____ Notary Public: _____

SEAL

My Commission Expires: _____

FOR ALCOHOL AND GAMING DIVISION USE ONLY: Fingerprints submitted on: _____ Cleared on: _____

Approved Disapproved

Signed by Director: _____ Date: _____



AGD use only | Fingerprints #/Received on: _____ Cleared on: _____ Server Permit# _____ Expires: _____
 Liquor License # _____ or Application # _____

PERSONAL DATA AFFIDAVIT

INSTRUCTIONS: Submit this page for Each Individual Applicant, Each Principal Officer and Director of a Corporation, Each Stockholder (individual) owning 10% or more of the stock in Applicant Corporation, Each individual Limited Liability or General Partner, Each Resident Agent for a Corporation, and Each Manager and Member of LLC with 10% or more interest. Make additional copies of this page if necessary. *Print clearly.*

First Name: **Javier** Last Name: **Perea**

SS # _____ Birth Date: ____/____/____ Contact #: _____

Email Address: _____

Business Address: **1000 McNutt Rd. Ste. A** Business Phone: **575-589-7565**

Residence Address: _____

City: **Sunland Park** State: **New Mexico** Zip Code: **88063**

Driver's License, Issued in the State of: _____ DL No. _____

U.S. Citizenship or Citizen of: _____ Resident Alien # _____

Male Female Are you at least 21 years of age? Yes No

Are you married? Yes No *If yes, has your spouse ever been convicted of a felony in any jurisdiction?* Yes No

If yes, provide details: _____

ALIAS: If you have been known by any other name, list date and reason for other name(s). Attach additional pages if necessary.

Name(s) Used: _____ Date(s) of Change: _____

Reason for Change (such as Marriage/Divorce/Decree): _____

Have you been Convicted of a Felony? Yes No *If yes, provide details:* **N/A** and,

has the Governor restored your privilege to receive and hold a Liquor License? Yes, copy attached No N/A

Have you been convicted of two separate misdemeanor violations of the New Mexico Liquor Control Act in any calendar year?

Yes No *If yes, provide details:* **N/A**

Have you ever had an Application for a Liquor License, in any State, suspended or revoked? Yes No *If yes, provide details:* _____

Do you directly or indirectly own any interest in a Liquor License? Yes, the following: **No**

Yes, see attached, listing all License No.(s) and State(s) No

If your response is Yes to the following two questions, you need to be alcohol server certified.

- Will you manage, direct or control the sale of alcohol? Yes No
- Will you be present on the licensed premises on a regular basis? Yes No

You must sign before a Notary Public and ALL questions must be answered.

I, (print name) _____ swear that I have answered each question honestly, that the information provided in my responses are true and correct, and understand that if any information contained herein is false or found to be false, the Division may revoke the Liquor License issued under this Application.

Affiant Signature: _____ Date: _____

Note: For fingerprint procedures, review information provided on the website.

NOTARY PUBLIC USE ONLY: (State of _____, County of _____)

SUBSCRIBED & SWORN TO before me, this _____ day of _____, 20____

By: _____ Notary Public: _____ My Commission Expires: _____

SEAL



AGD USE ONLY: Payment| Application Fee(s) \$ _____ Received on: _____ Receipt No. _____

GOVERNMENTAL SUNDAY SALES APPLICATION

Non-transferable, fees non-refundable

Sunday Sales **BY THE DRINK, with \$100 Fee**

Liquor License # _____ or Application # _____

(Print clearly)

1. Name of Applicant: **City of Sunland Park NM**

2. DBA Name: **City of Sunland Park Sports Complex**

3. Type of Liquor License applied for: **Governmental**

4. Physical location of licensed premises: **4700 McNutt**

City: **Sunland Park** State: **NM** Zip: **88063**

5. Mailing address: **1000 McNutt Rd. Ste. A**

City: **Sunland Park** State: **NM** Zip: **88063**

6. Local Option District (where license is located, *agency that issued your zoning statement*): **City of Sunland Park**

7. County where license is located: **Doña Ana**

Note: Sunday Sales by the drink and/or package are only permitted in those local option districts in which Sunday Sales have been approved by the voter.

Applicant/Licensee Signature: _____ Date: _____

Submit with appropriate fees to: Alcohol and Gaming Division, PO Box 25101, Santa Fe, NM 87504-5101

FOR ALCOHOL AND GAMING DIVISION USE ONLY: Approved Disapproved

Signed by Director: _____ Date: _____

GOVERNMENTAL APPLICATION CHECKLIST

Type: Municipal County State > Fair Commission University Museum Space Authority

Date Received: _____ Application Number: _____ |Final: Assigned License No. _____

Hearing: _____

Applicant Name/Name of Governmental Entity: **CITY OF SUNLAND PARK NM**

Department assigned use of license: **MAYOR**

DBA Name: **CITY OF SUNLAND PARK SPORTS COMPLEX**

Proposed Location Address: _____

Mailing Address: _____

Contact Person/Agent: _____ Ph: _____ Email: _____

PAGE 1 COMPLETED & SUBMITTED? Yes No Application fee submitted? Yes No Amount paid \$ _____

Tax Registration Certificate, in Applicant's name? Yes No Comment: _____

Initial License Fee \$1,300.00, to be submitted at Final, Paid \$ _____ on: _____

PAGE 2 PREMISES, LOCATION? Yes No Comment: _____

Proof of Tenancy for the premises, in Applicant's name? Yes No Comment: _____

Zoning Statement, allowing alcohol service? Yes No Comment: _____

Floor Plan? Yes No Total Square Footage for the premises? _____ Comment: _____

Is there a Patio? Yes No Enclosed by 3ft Barrier /Description? _____ Contiguous _____

Photos of Patio, if applicable? Yes No

POSTING CERTIFICATE: To Agent: _____ Posted On: _____ Expires at Midnight on: _____

Is a Surveyor's Certificate required? Yes No Has it been submitted? Yes No Comment: _____

Is a Waiver required? Yes No Has an approved Waiver been submitted? Yes No Comment: _____

ENTITY PAGE BOARD /COMMISSION /REGENT: Yes No Comment: _____

PAGE 5- RESIDENT AGENT? Yes No \$50.00 Fee paid? Yes No

Name: _____ Permit # _____ Expires: _____

Comment: _____

PAGE 6- PERSONAL DATA AFFIDAVIT, FOR EACH PERSON REQUIRING DISCLOSURE? Yes No

Comment: _____

%	Title Name	SS#	FPS Submitted / Cleared On:	Permit # / Expires

SUNDAY SALES BY THE DRINK COMPLETED & SUBMITTED? Yes No N/A \$100.00 Fee paid? Yes No

Are Sunday Sales by the Drink allowed in this Local Option District? Yes No

Comment: _____

**STATE OF NEW MEXICO TAXATION & REVENUE DEPT.
REGISTRATION CERTIFICATE**



Gross Receipts, County Gross Receipts, Municipal Gross Receipts,
Compensating and Withholding Taxes, plus those listed below.

Date Business Started in N.M. 1/5/84		Date ID No. Issued 2/17/84	IDENTIFICATION NUMBER 01- 199069 -00-4	
Business Location (26) 3800 MCNUTT ROAD				
City and State (21) SUNLAND PARK NM		Zip Code 88063		
Taxpayer Name (28) MARTINEZ DAVID/MOLINA S				
Firm Name (28) CITY OF SUNLAND PARK				
Mailing Address (26) P O BOX 382				
City and State (21) SUNLAND CITY NM		Zip Code 88063	THIS CERTIFICATE IS NOT TRANSFERABLE	

SIC: 9393
 CRS-1? () YES () NO
 TYPE OWNER 08
 SS NO./FED. I.D. 85-0316599
 S/F: F
 COUNTY CODE: 07
 BASE MONTH: 01
 REPORT PERIOD: 01
 TELEPHONE: 505-589-6600
 02? () YES () NO

This Registration Certificate is issued pursuant to Section 7-1-12, N.M.S.A. 1978. THIS COPY MUST BE DISPLAYED CONSPICUOUSLY by the registrant in the place of business. Any purchaser of the registrant's business is subject to certain requirements under Section 7-1-61, N.M.S.A. 1978.

DIRECTOR OF REVENUE

BY Marilyn A. Nelson
 REGISTRATION & LICENSING

Any inquiries concerning your Identification Number should be addressed to the Revenue Division, P.O. Box 630, Santa Fe, New Mexico 87509-0630.

- [Account Search](#)
- [View Created Report\(s\)](#)
- [Help?](#)
- [Logout Public](#)

Account: R1603108 *Mill Levy does not include Special District Rates such as: Lower Rio Grande Flood Levy, Hueco Levy, Mclead Watershed Levy, Caballo Soil and Water Conservation Levy, and La Union Watershed Levy.

Location

Situs Address 4700 MCNUTT RD
 Tax Area 16IN_NR - 16IN_NR
 Parcel Number 4-017-168-156-177
 Legal Summary S: 35 T: 28S R: 3E TR IN NWQTR
 Deed Holder
Neighborhood 112 - MASON-FARMS

Owner Information

Owner Name CITY OF SUNLAND PARK
 Owner Address 1000 MCNUTT RD SUNLAND PARK, NM 88063

Assessment History

Actual (2020) \$241,120
 Primary Taxable \$80,373
 Exempt (\$80,373)
 Adjusted Taxable \$0
 Total \$0

Tax Area: 16IN_NR Mill Levy: 39.712000

Type Actual Assessed Acres
 Exempt Land \$241,120 \$80,373 30.140

Transfers

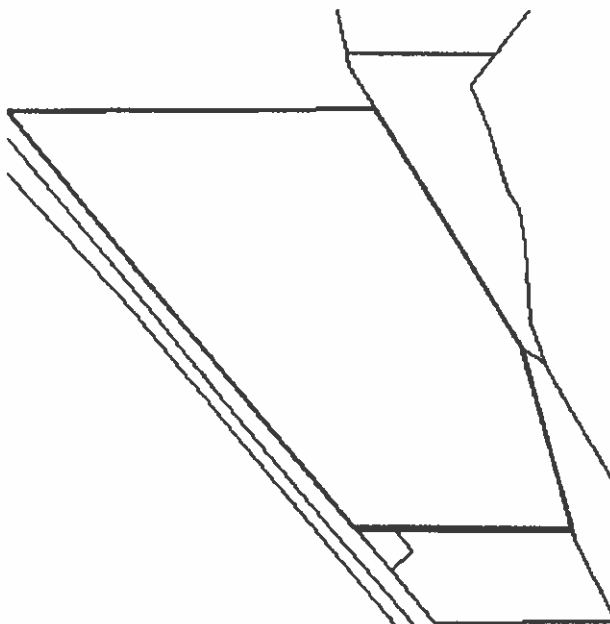
Record Sequence	Reception Number	Book Page	Sale Date
5	0615464		04/04/2006
4	0613485		04/04/2006
3	0613185		04/14/2006
2	BK 234 PG 854		
1	SF-92458		

Images

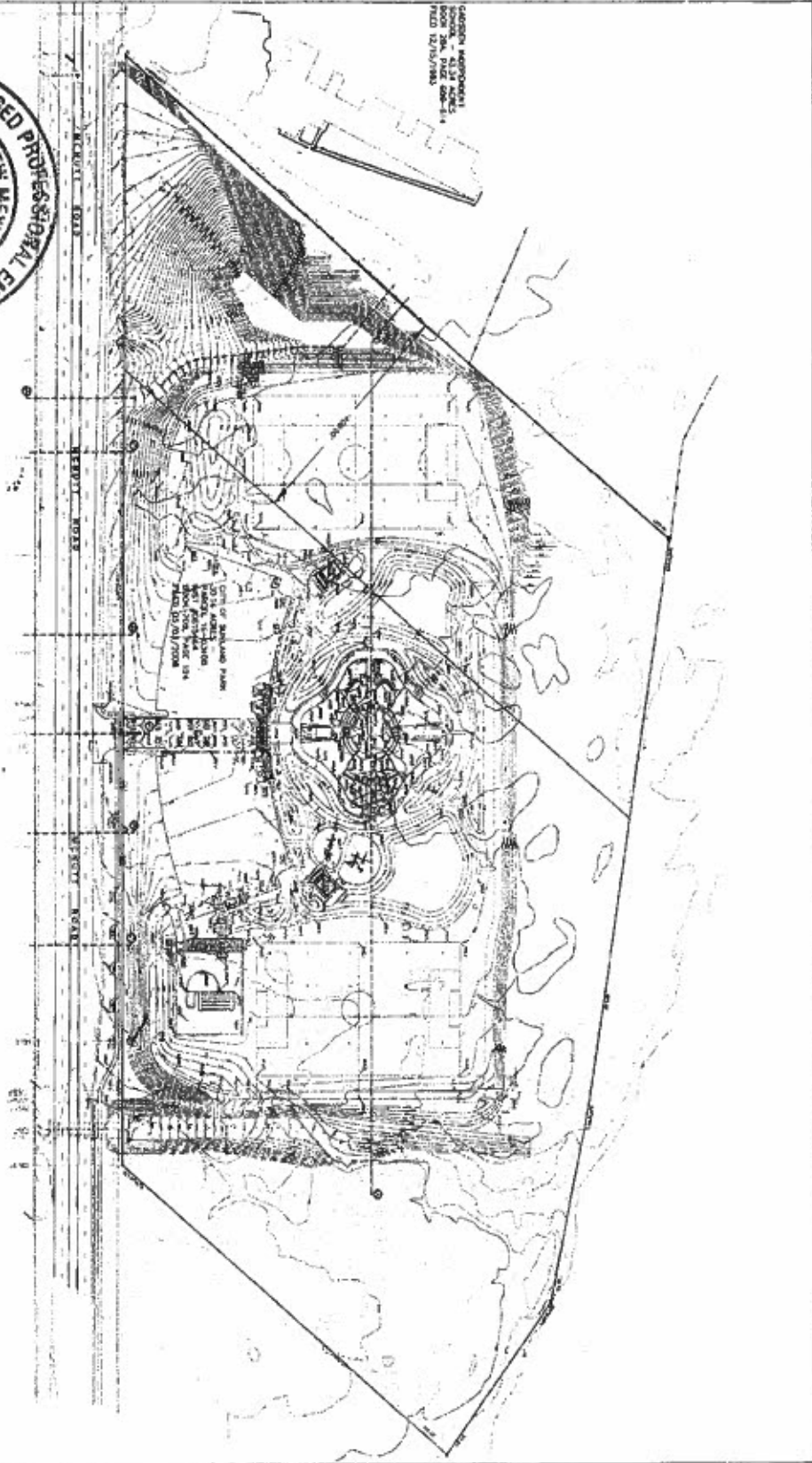
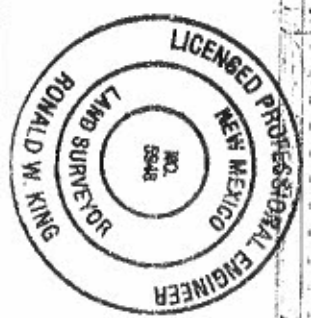
Tax Year	Taxes
*2020	\$0.00
2019	\$0.00

- [Map](#)
- [GIS](#)

* Estimated



CAUTION: REVISIONS
 SHEET NO. 204, PLAT 608-14
 FIELD 12/10/1988



Ronald W. King
 DATE: 6-2-2015
 SHEET NO. 204, PLAT 608-14
 FIELD 12/10/1988

OVERLAYS

WARNING!
 BEFORE YOU DIG
 CONSULT WITH ALL EXISTING
 UNDERGROUND UTILITIES
 IN PROJECT AREA

OVERALL SITE PLAN

	<p>New Sports Complex for THE CITY OF SUNLAND PARK, NEW MEXICO</p> <p>Mc. Nutt Road Sunland Park, NM.</p>		<p>DATE: AUGUST 2008</p> <p>OVERALL SITE PLAN</p> <p>DL-1</p> <p>1 OF 3</p>
--	---	--	---



City of Sunland Park
Community & Economic Development Department
950 McNutt Rd., Sunland Park, NM 88063
Ph. (575) 589-3631 Fax (575) 589-7481

CERTIFICATE OF ZONING

This Certificate of Zoning certifies that the property located at 4700 McNutt Rd. in Sunland Park, New Mexico, USA 88063 is zoned as follows:

Residential Districts

- RE Rural Estate District
- RE-1 Rural Estate District
- R-1 Single-Family Residential District
- R-2 Single-Family Residential Medium Density District
- TC Single-Family Townhouse and Condominiums District
- MR Mixed Residential District
- MF Multi-Family Residential District
- PD Preservation District

Commercial Districts

- C-1 Light Commercial District
- C-2 General Commercial District**
- C-2 / SU -1 General Commercial District / Special Use Overlay

Industrial Districts

- M-1 Light Industrial District
- M-1/ SU-1 Light Industrial District / Special Use Overlay
- M-2 Heavy Industrial District
- SU-1 Special Use Zone

Special Districts

- RCPUD Residential Commercial Planned Unit Development
- R1MFTC Single-Family Residential / Multi-Family Residential / Townhouse Condominium

This certification ensures that the current use **DOES** meet all provisions of the Zoning Ordinance.

Is this use compliant with C2 District permissive uses? Y N

See next page for Applicable Sections and Ordinances.

Applicable Sections:

- See Appendix A for: Parcel Information
- See Appendix B for: City of Sunland Park Zoning Map
- See Appendix C for: Zoning applicable Ordinances

Appendix A: Parcel Information

Property Record Card

Dofia Ana Assessor

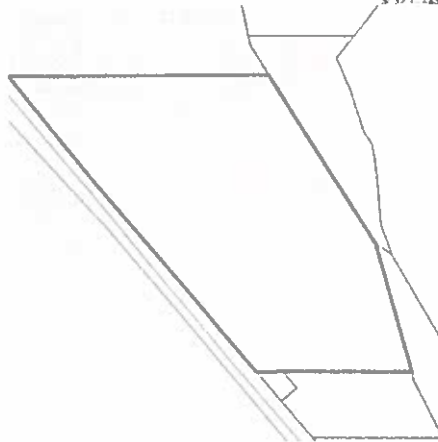
CITY OF SUNLAND PARK
1000 MCNUTT RD
SUNLAND PARK, NM 88063

Account: R1603108
Tax Area: 16IN_NR - 16IN_NR
Acres: 30.140

Parcel: 4-017-168-156-177
Site Address:
4700 MCNUTT RD
Sunland Park, 88063

Neighborhood 112 - MASON-FARMS

Legal Description
S 35 T. 28S R. 16E TR 15 NW QTR



Appendix B City of Sunland Park Zoning Map



Appendix C: Zoning applicable Ordinances

CHAPTER 6

COMMERCIAL DISTRICTS

ARTICLE A. C-1 LIGHT COMMERCIAL DISTRICT

SECTION:

- 10-6A-1: Purpose**
- 10-6A-2: Permissive Uses**
- 10-6A-3: Conditional Uses**
- 10-6A-4: Area Requirements**
- 10-6A-5: Height Requirements**
- 10-6A-6: Off-Street Parking**
- 10-6A-7: Signs**

10-6A-1: PURPOSE: The purpose of this Zone is to permit a limited mixture of residential and retail commercial activities. This Zone establishes and preserves areas for those commercial facilities which are essentially useful in close proximity to residential areas while minimizing the undesirable impact of such commercial uses on the neighborhoods which they service. (Ord. 1985-03, 4-16-1985)

10-6A-2: PERMISSIVE USES: Any use which is compatible with the general nature and patterns of permitted residential uses as outlined in Chapter 5, Articles A through F of this Title. (Ord. 1985-03, 4-16-1985)

10-6A-3: CONDITIONAL USES: A special use permit shall be required for the uses listed in this Section. The examples listed below are for explanatory purposes and may include other similar businesses of similar neighborhood convenience. Buffer strips, wall or fences shall be required in some instances. Specific conditions and provisions for each use may be referred to in Chapter 10 of this Title.

Adult amusement establishment.

Adult bookstore/video store.

Airport and heliport.

Ambulance service.

Auto washing establishment.

Bakery.

Banks and financial institutions.

Body shop.

Bookstore.

Bus garage.

Car wash.

Gasoline service station.

Grocery store.

Heavy equipment repair and service.

Kennel (commercial).

Laundromat; dry cleaning; linen supply.

Mobile home park.

Paint shop (spraying, mixing).

Planned unit development.

Professional office.

Public utility installation, substation, and water well.

Racetrack.

Recreation hall.

Recycling purchase center.

Stadium: baseball, football, soccer, or track. (Ord. 1998-02, 4-7-1998)

10-6A-4: AREA REQUIREMENTS:

- A. **Minimum Lot Area:** Five thousand (5,000) square feet.
- B. **Minimum Yards Required:** Where the site faces or abuts a residential zone, the setback requirements of the residential zone apply; otherwise the following shall apply:
1. **Front:** Fifteen feet (15').
 2. **Side:** Five feet (5').
 3. **Rear:** Fifteen feet (15'). (Ord. 1999-02, 3-2-1999)

Review 11'

10-6A-5: HEIGHT REQUIREMENTS: Same as the MF Zone. (Ord. 1999-02, 3-2-1999)

10-6A-6: OFF-STREET PARKING: Off-street parking requirements shall be as provided in Chapter 13 of this Title. No loading or unloading is to be conducted in a public street. (Ord. 1999-02, 3-2-1999)

10-6A-7: SIGNS: Signs shall be limited as provided in Chapter 14 of this Title. (Ord. 1999-02, 3-2-1999)

CHAPTER 6

COMMERCIAL DISTRICTS

ARTICLE B. C-2 GENERAL COMMERCIAL DISTRICT

SECTION:

- 10-6B-1: Purpose
- 10-6B-2: Permissive Uses
- 10-6B-3: Conditional Uses
- 10-6B-4: Area Requirements
- 10-6B-5: Height Restrictions
- 10-6B-6: Off-Street Parking
- 10-6B-7: Signs

10-6B-1: PURPOSE: The purpose of this Zone is to allow those commercial activities that serve the general community on a day-to-day basis. (Ord. 1985-03, 4-18-1985)

10-6B-2: PERMISSIVE USES: Any use which is compatible with the general nature and patterns of permitted residential uses as outlined in Chapter 5, Articles A through F of this Title. (Ord. 1985-03, 4-18-1985)

10-6B-3: CONDITIONAL USES: A use permit shall be required for the following uses:

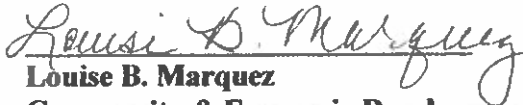
Those conditional uses allowed in the C-1 Zone.

Garage for automotive repair and painting, provided it complies with the following:

- A. All activities shall be conducted within a completely enclosed building.

City of Sunland Park authorized Certified Zoning Officials

Certificate of zoning will require the applicant to obtain the approval of at least one authorized Certified Zoning Officials.



Louise B. Marquez
Community & Economic Development Department

Date: 4/20/2020

Danielle Villegas
City Planner

Date: _____

Received by: _____ **Date:** _____

CITY OF SUNLAND PARK SPORTS COMPLEX CONSESSION STAND 4700 MCNUTT ROAD SUNLAND PARK, NEW MEXICO 88063



PROJECT
LOCATION

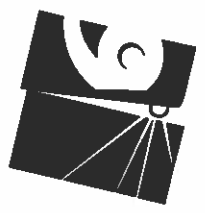
LOCATION MAP

1/8" = 10' SCALE

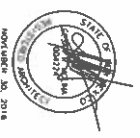


- GENERAL PROJECT NOTES**
1. REFER TO THE GENERAL NOTES, SPECIFICATIONS AND SCHEDULES.
 2. CONTRACTOR TO RESPONSIBLE FOR OBTAINING PERMITS, INCLUDING BUT NOT LIMITED TO: CONSTRUCTION PERMIT, UTILITIES, AND ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS AND APPROVALS.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 10. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 11. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 12. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 13. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 14. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 15. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 17. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 18. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 19. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 20. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.

CONSTRUCTION DOCUMENTS



**NINE DEGREES
ARCHITECTURE + DESIGN, INC**
P.O. BOX 4138
SUNLAND PARK, NEW MEXICO 88063
TEL: (505) 261-9100
CESAR@NINE-DEGREES.COM



INDEX OF DRAWINGS

- COVER SHEET
- GENERAL**
- 0-1-0 GENERAL NOTES
- ARCHITECTURAL**
- A-1-0 SITE PLAN
- A-1-1 EXTERIOR ELEVATIONS AND DOOR SCHEDULE
- A-1-2 INTERIOR ELEVATIONS
- A-1-3 FLOOR FINISHES, CEILING FINISHES AND SECTIONS
- A-1-4 ROOF FINISHES, DETAILS AND SECTIONS
- MECHANICAL**
- M-1-1 MECHANICAL PLAN & PLUMBING PLANS, LIFTING, NOTES
- M-1-2 SCHEDULES, DETAILS AND RISER DIAGRAM
- ELECTRICAL**
- E-1 ELECTRICAL PLANS, SPECIFICATIONS AND SCHEDULES
- E-2 ELECTRICAL PLANS, SPECIFICATIONS AND SCHEDULES
- STRUCTURAL**
- S-1-1 WALL SECTION AND COLUMN DETAIL
- S-1-2 ROOF FINISHING DETAILS AND SECTIONS

CONSULTANTS

- MECHANICAL**
TMM SYSTEMS, INC.
11740 N. ALAMO, TRUCKEE, NEVADA
(775) 834-4433
- ELECTRICAL**
TMM & COMPANY, INC.
615 N. UNIVERSITY AVE. #100
EL PASO, TEXAS 79901
(915) 463-2941
- STRUCTURAL**
DAVE KELLY ENGINEERING
5100 DALE KIRKLAND
SUNLAND PARK, NEW MEXICO
(505) 251-0000 (505) 251-0000

CRITICAL NOTES:

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATION IN THE DRAWINGS AND SHEET.
2. ANY DISCREPANCIES OR MISSING DIMENSIONS SHALL BE REPORTED TO ARCHITECT FOR REVIEW AND RESOLUTION PRIOR TO PROCEEDING WITH WORK.
3. DETAILS ON THE DRAWINGS ARE TECHNICAL AND APPLY TO STANDARD CONDITIONS. THIS DOCUMENT IS INTENDED TO PROVIDE A GENERAL REPRESENTATION OF THE GENERAL CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS DRAWING.
4. MEANS SHALL BE DETERMINED BY THE DRAWINGS OR BY THE PRECEDENCE LISTED BELOW.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS THROUGH VISUAL MEANS.
6. VERIFY SIZE AND LOCATION OF ALL DIMENSIONS OF ALL DIMENSIONS OF ALL DIMENSIONS.
7. VERIFY SIZE AND LOCATION OF ALL DIMENSIONS OF ALL DIMENSIONS OF ALL DIMENSIONS.
8. VERIFY SIZE AND LOCATION OF ALL DIMENSIONS OF ALL DIMENSIONS OF ALL DIMENSIONS.

FOUNDATION NOTES:

1. EXISTING FOUNDATION SHALL BE EXAMINED AND FOUND TO BE IN GOOD CONDITION TO REMAIN.
2. FOUNDATION SHALL BE EXAMINED AND FOUND TO BE IN GOOD CONDITION TO REMAIN.
3. FOUNDATION SHALL BE EXAMINED AND FOUND TO BE IN GOOD CONDITION TO REMAIN.
4. FOUNDATION SHALL BE EXAMINED AND FOUND TO BE IN GOOD CONDITION TO REMAIN.

CONCRETE MASSWORK NOTES:

1. CONCRETE MASSWORK UNITS, EXCEPT FOR THOSE LISTED AS BUILDING UNITS, SHALL BE FOLLOWING:
 1. CONCRETE MASSWORK UNITS SHALL BE CAST IN PLACE.
 2. CONCRETE MASSWORK UNITS SHALL BE CAST IN PLACE.
 3. CONCRETE MASSWORK UNITS SHALL BE CAST IN PLACE.
 4. CONCRETE MASSWORK UNITS SHALL BE CAST IN PLACE.
2. CONCRETE MASSWORK UNITS SHALL BE CAST IN PLACE.
3. CONCRETE MASSWORK UNITS SHALL BE CAST IN PLACE.
4. CONCRETE MASSWORK UNITS SHALL BE CAST IN PLACE.

STRUCTURAL STEEL NOTES:

1. STRUCTURAL STEEL SHALL BE FABRICATED AND DELIVERED TO THE PROJECT SITE IN ACCORDANCE WITH ASTM A 588.
2. STRUCTURAL STEEL SHALL BE FABRICATED AND DELIVERED TO THE PROJECT SITE IN ACCORDANCE WITH ASTM A 588.
3. STRUCTURAL STEEL SHALL BE FABRICATED AND DELIVERED TO THE PROJECT SITE IN ACCORDANCE WITH ASTM A 588.
4. STRUCTURAL STEEL SHALL BE FABRICATED AND DELIVERED TO THE PROJECT SITE IN ACCORDANCE WITH ASTM A 588.

DETAILED STEEL JOIST FRAMING NOTES:

1. STEEL JOIST AND JOIST GIRDERS SHALL CONFORM WITH THE STEEL JOIST INSTITUTE (SJI) STANDARD FOR JOIST DESIGN.
2. JOIST GIRDERS SHALL BE FABRICATED AND DELIVERED TO THE PROJECT SITE IN ACCORDANCE WITH SJI STANDARD FOR JOIST DESIGN.
3. JOIST GIRDERS SHALL BE FABRICATED AND DELIVERED TO THE PROJECT SITE IN ACCORDANCE WITH SJI STANDARD FOR JOIST DESIGN.
4. JOIST GIRDERS SHALL BE FABRICATED AND DELIVERED TO THE PROJECT SITE IN ACCORDANCE WITH SJI STANDARD FOR JOIST DESIGN.

CODE ANALYSIS SUMMARY:

APPLICABLE CODE	ZONING
INTERNATIONAL BUILDING CODE 2009	RS-10
INTERNATIONAL PLUMBING AND MECHANICAL CODE 2009	RS-10
INTERNATIONAL ELECTRICAL CODE 2009	RS-10
INTERNATIONAL MECHANICAL CODE 2009	RS-10
INTERNATIONAL FIRE CODE 2009	RS-10
INTERNATIONAL SAFETY CODE 2009	RS-10
INTERNATIONAL WIND LOADS AND EFFECTS CODE 2009	RS-10
INTERNATIONAL COLLISION CODE 2009	RS-10
INTERNATIONAL CRACKING CODE 2009	RS-10
INTERNATIONAL CORROSION CODE 2009	RS-10
INTERNATIONAL CONSTRUCTION CODE 2009	RS-10
INTERNATIONAL ACCESSIBILITY CODE 2009	RS-10
INTERNATIONAL ENERGY CODE 2009	RS-10
INTERNATIONAL ENVIRONMENTAL CODE 2009	RS-10
INTERNATIONAL HEALTH AND SAFETY CODE 2009	RS-10
INTERNATIONAL OCCUPANCY CODE 2009	RS-10
INTERNATIONAL RECORDING CODE 2009	RS-10
INTERNATIONAL SIGNAGE CODE 2009	RS-10
INTERNATIONAL SOUND AND VIBRATION CODE 2009	RS-10
INTERNATIONAL THERMAL AND MOISTURE ENVIRONMENTAL CONDITIONS CODE 2009	RS-10
INTERNATIONAL TRANSPORTATION CODE 2009	RS-10
INTERNATIONAL UTILITIES CODE 2009	RS-10
INTERNATIONAL WIND LOADS AND EFFECTS CODE 2009	RS-10
INTERNATIONAL COLLISION CODE 2009	RS-10
INTERNATIONAL CRACKING CODE 2009	RS-10
INTERNATIONAL CORROSION CODE 2009	RS-10

REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	NOVEMBER 10, 2016

PROJECT INFORMATION:

PROJECT NAME: CITY OF SUNLAND PARK SPORTS COMPLEX CONCESSIONS STAND

PROJECT LOCATION: SUNLAND PARK, NEW MEXICO

ARCHITECT: NINE DECREE ARCHITECTURE & DESIGN, INC.

DATE: NOVEMBER 10, 2016

CITY OF SUNLAND PARK
SPORTS COMPLEX
CONCESSIONS STAND
SUNLAND PARK, NEW MEXICO

REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	NOVEMBER 10, 2016

CONSTRUCTION DOCUMENTS

NOVEMBER 2016

G-10

SHEET 1 OF 1

SITE PLAN



SCALE 1/8"=1'-0"

REVISIONS	DATE

Project Name: **SITE PLAN**
 Project No: **20178**
 Date: **NOVEMBER 2018**
 Prepared by: **CONSTRUCTION DOCUMENTS**
 Drawn by:
 Checked by:
 Scale:
 Sheet No: **1** of **5**
A-10

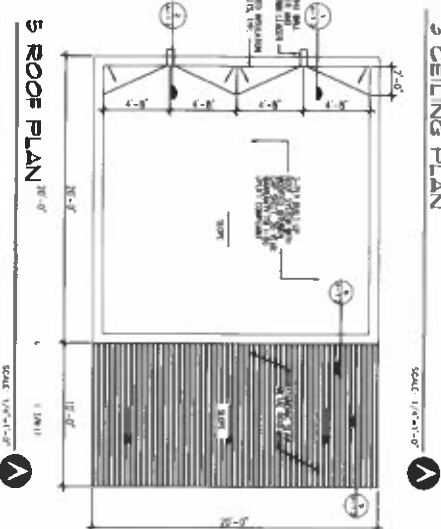
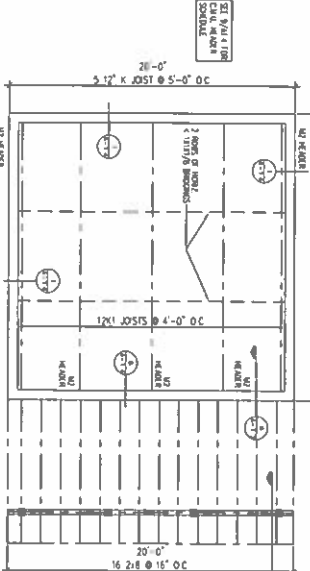
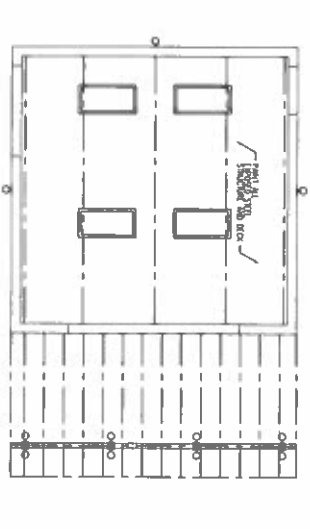
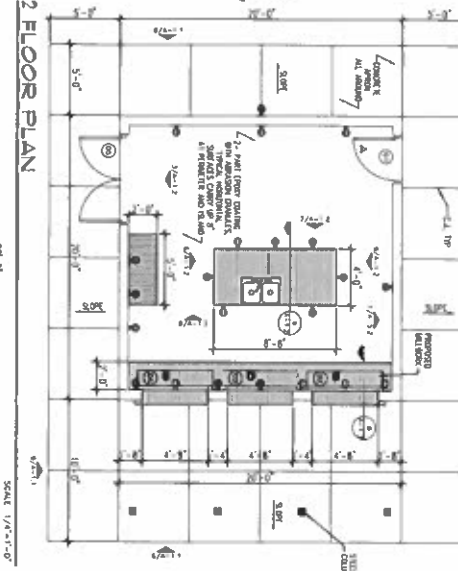
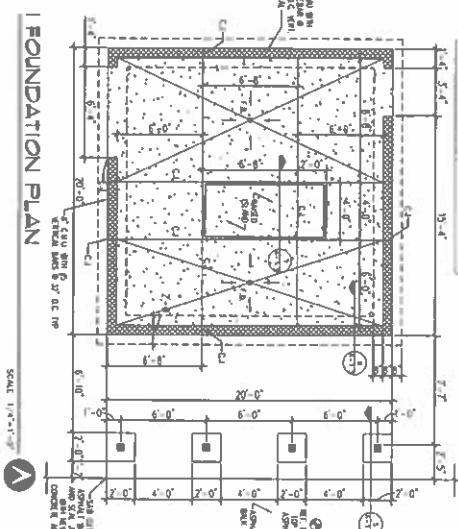
CITY OF SUNLAND PARK
SPORTS COMPLEX

CONCESSIONS STAND

SUNLAND PARK, NEW MEXICO



1:0000 Plan, 4' CONCRETE SLAB @ 1/4" @ 4" W/C
 1:0000 Plan, 4' CONCRETE SLAB @ 1/4" @ 4" W/C



DOOR SCHEDULE

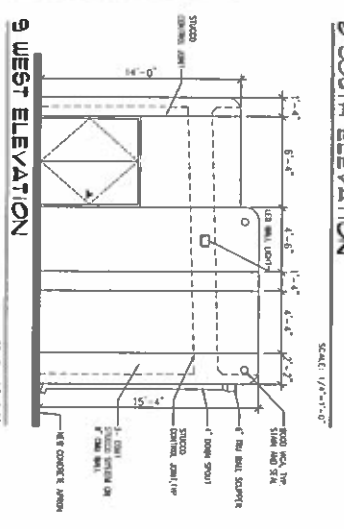
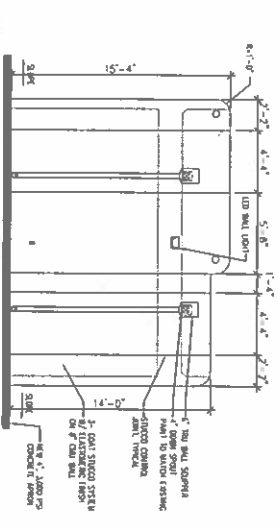
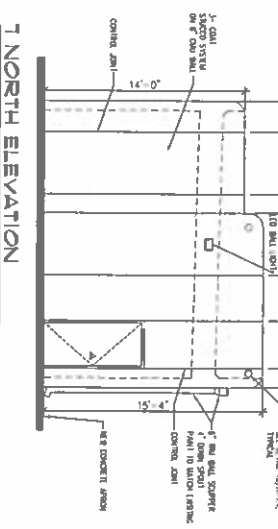
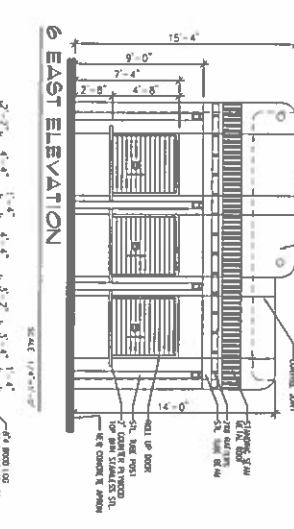
DOOR NO.	TYPE	DOOR FRAME	FRAME FINISH	FRAME SCHEDULE	GLASS	GLASS SCHEDULE	REMARKS
01	2'-0" x 7'-0"	ALUMINUM	ALUMINUM	ALUMINUM	6-1/8" x 1-3/8"	001	DEPENDENT ON MANUFACTURER
02	4'-0" x 8'-0"	ALUMINUM	ALUMINUM	ALUMINUM	6-1/8" x 1-3/8"	001	DEPENDENT ON MANUFACTURER
03	4'-0" x 8'-0"	ALUMINUM	ALUMINUM	ALUMINUM	6-1/8" x 1-3/8"	001	DEPENDENT ON MANUFACTURER
04	4'-0" x 8'-0"	ALUMINUM	ALUMINUM	ALUMINUM	6-1/8" x 1-3/8"	001	DEPENDENT ON MANUFACTURER
05	2'-0" x 7'-0"	ALUMINUM	ALUMINUM	ALUMINUM	6-1/8" x 1-3/8"	001	DEPENDENT ON MANUFACTURER

HARDWARE SET 001

ITEM	DESCRIPTION	QTY	UNIT	FINISH	REMARKS
1	CIT SWITCH	630	SW	ALUMINUM	
1	CHANGELock	41	SW	ALUMINUM	
1	CHANGELock	41	SW	ALUMINUM	
1	CHANGELock	41	SW	ALUMINUM	
1	CHANGELock	41	SW	ALUMINUM	
1	CHANGELock	41	SW	ALUMINUM	
1	CHANGELock	41	SW	ALUMINUM	
1	CHANGELock	41	SW	ALUMINUM	
1	CHANGELock	41	SW	ALUMINUM	
1	CHANGELock	41	SW	ALUMINUM	

HARDWARE SET 002

ITEM	DESCRIPTION	QTY	UNIT	FINISH	REMARKS
1	DOMINANT LOCKS	17	LOCK	ALUMINUM	
1	LOCK SET	17	LOCK	ALUMINUM	
1	LOCK SET	17	LOCK	ALUMINUM	
1	LOCK SET	17	LOCK	ALUMINUM	
1	LOCK SET	17	LOCK	ALUMINUM	
1	LOCK SET	17	LOCK	ALUMINUM	
1	LOCK SET	17	LOCK	ALUMINUM	
1	LOCK SET	17	LOCK	ALUMINUM	
1	LOCK SET	17	LOCK	ALUMINUM	
1	LOCK SET	17	LOCK	ALUMINUM	



**CITY OF SUNLAND PARK
 SPORTS COMPLEX
 CONCESSIONS STAND
 SUNLAND PARK, NEW MEXICO**



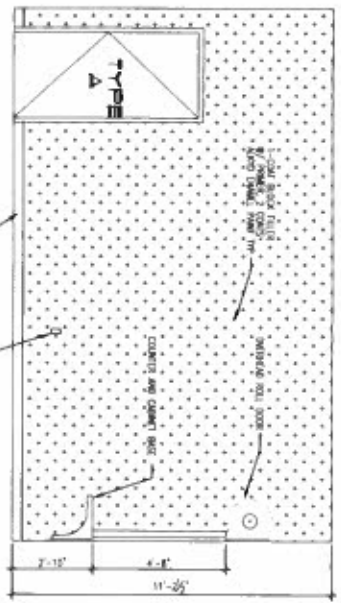
REVISIONS

NO.	DATE	DESCRIPTION
1	NOVEMBER 2016	ISSUE FOR PERMITS
2	NOVEMBER 2016	ISSUE FOR PERMITS

CONSTRUCTION DOCUMENTS
 PROJECT NO. 201829
 DATE: NOVEMBER 2016

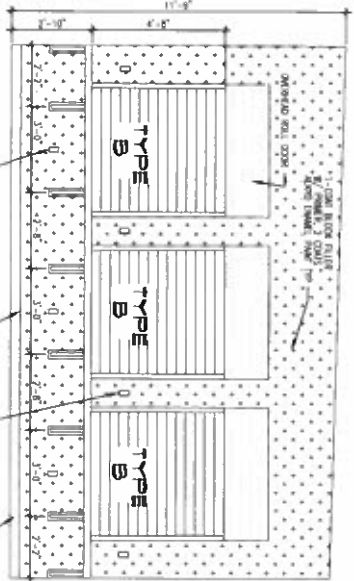
PLANS, ELEVATIONS AND DOOR SCHEDULE

A-11
 SHEET 2 OF 5



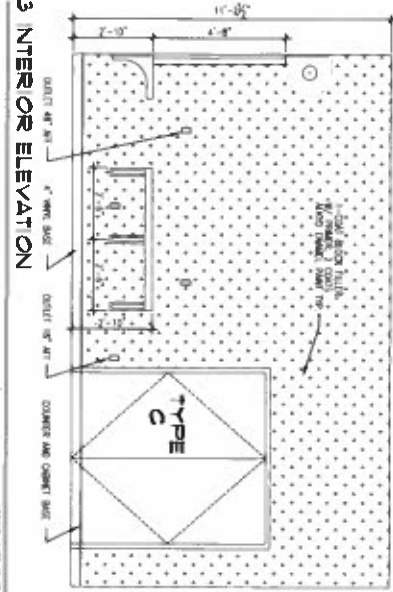
1 INTERIOR ELEVATION

SCALE: 1/8"=1'-0"



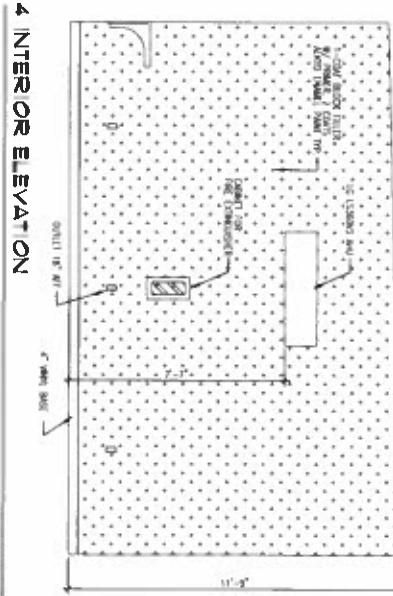
2 INTERIOR ELEVATION

SCALE: 1/8"=1'-0"



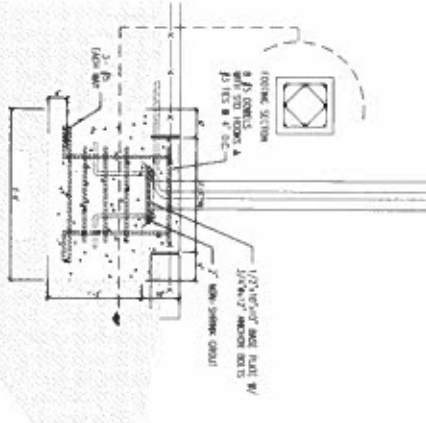
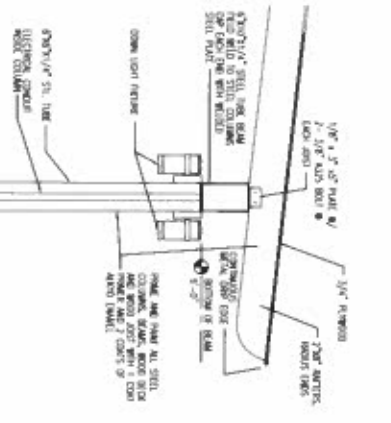
3 INTERIOR ELEVATION

SCALE: 1/8"=1'-0"



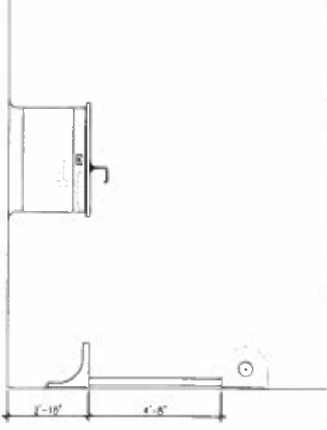
4 INTERIOR ELEVATION

SCALE: 1/8"=1'-0"



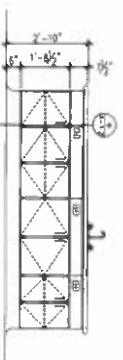
5 COLUMN DETAIL

SCALE: 1/8"=1'-0"



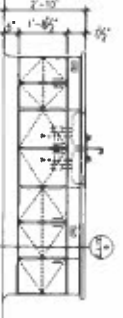
6 INTERIOR ELEVATION OF ISLAND

SCALE: 1/8"=1'-0"



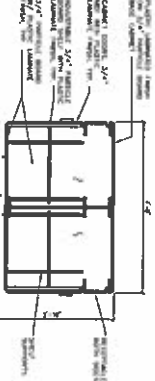
7 INTERIOR ELEVATION OF ISLAND

SCALE: 1/8"=1'-0"



8 INTERIOR ELEVATION OF ISLAND

SCALE: 1/8"=1'-0"



9 COUNTER SECTION

SCALE: 1/8"=1'-0"



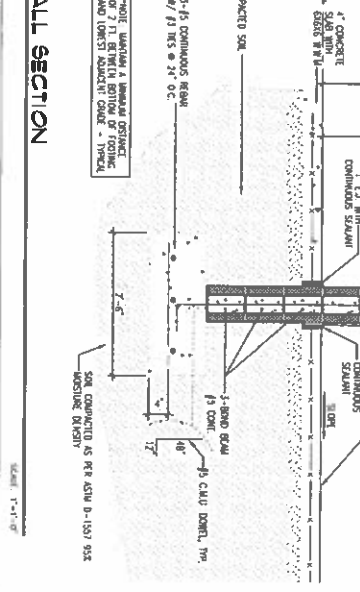
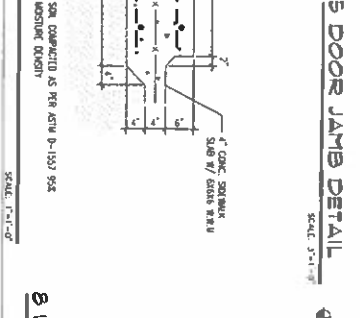
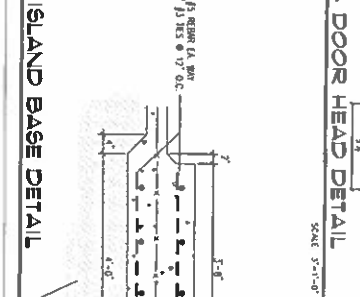
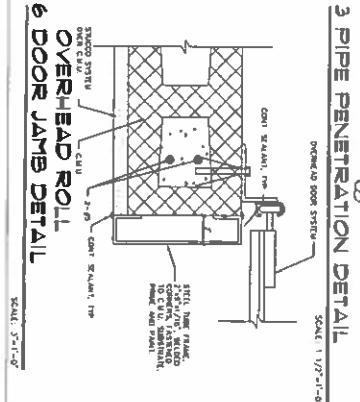
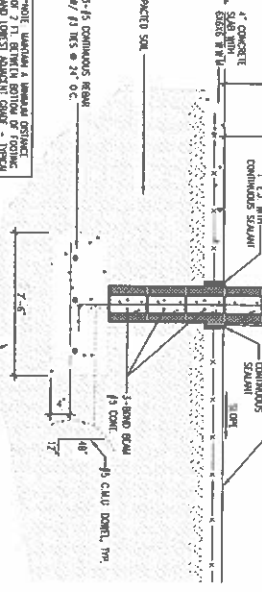
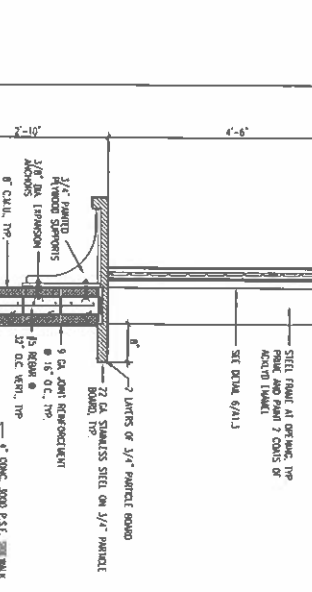
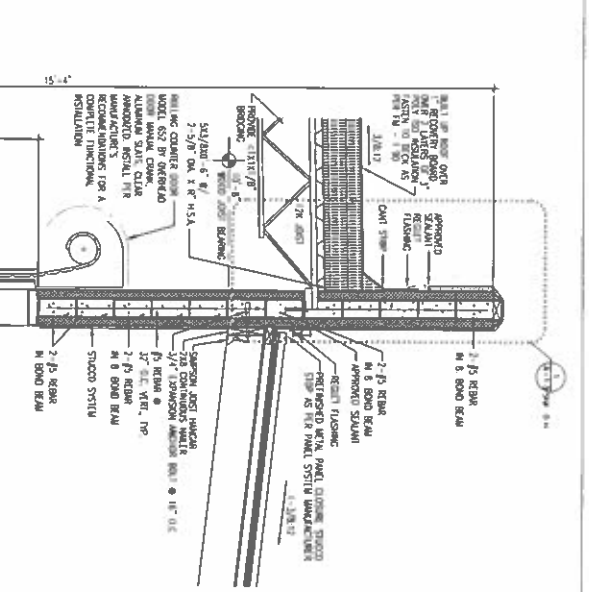
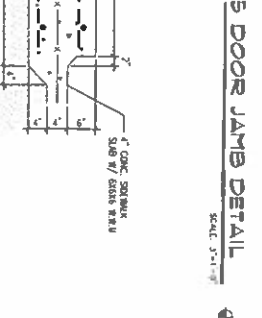
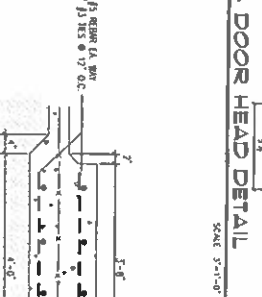
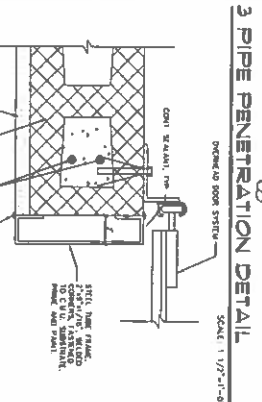
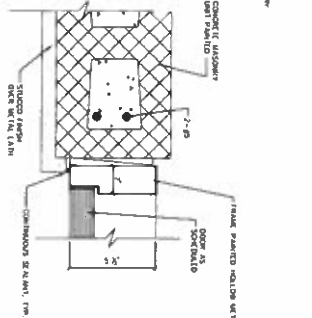
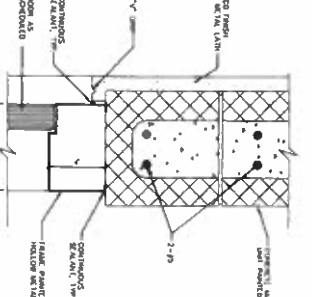
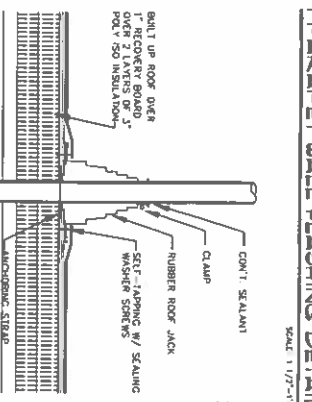
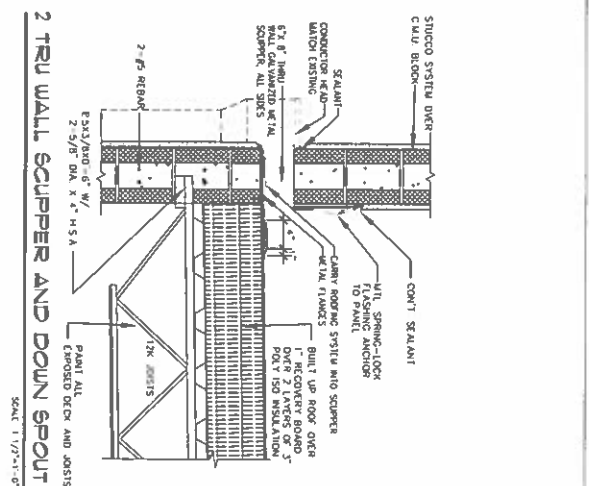
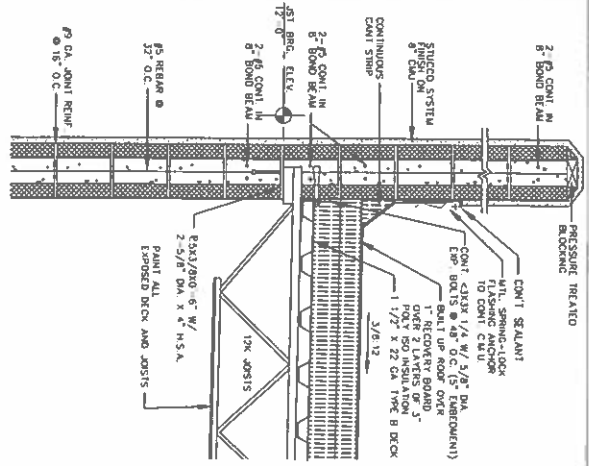
**CITY OF SUNLAND PARK
SPORTS COMPLEX**

CONCESSIONS STAND

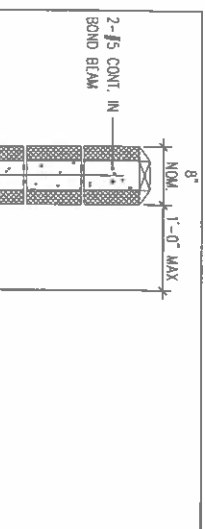
SUNLAND PARK, NEW MEXICO

REVISIONS	DATE

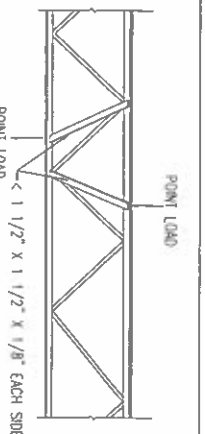
Project: CONSTRUCTION DOCUMENTS
 Project No: 201879
 Date: NOVEMBER 2018
 Drawing No: A-12
 Sheet: 3 of 5



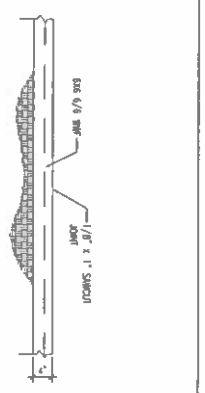
<p style="text-align: center;">CITY OF SUNLAND PARK SPORTS COMPLEX CONCESSIONS STAND SUNLAND PARK, NEW MEXICO</p>								
<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td></td> <td></td> </tr> </table>	NO.	DATE	DESCRIPTION	1			<p>CONSTRUCTION DOCUMENTS NOVEMBER 2016</p>	<p>DATE: _____</p>
NO.	DATE	DESCRIPTION						
1								
<p style="text-align: center;">A-13</p>		<p style="text-align: center;">SHEET 4 OF 5</p>						



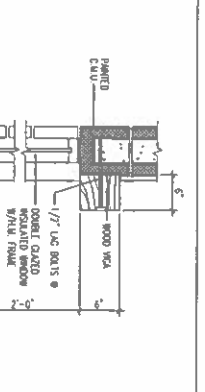
1 ROOF FRAMING + JOIST DECK DETAIL
SCALE: 1/2"=1'-0"



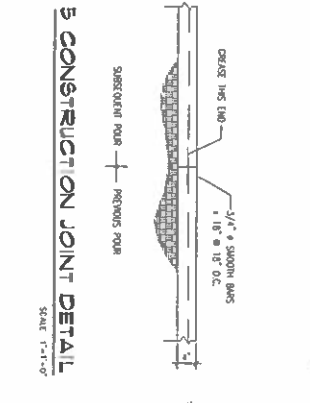
2 JOIST REINFORCEMENT CONCENTRATED LOADS
SCALE: 3/4"=1'-0"



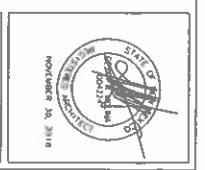
3 ROOF JOIST DETAIL
SCALE: 3/4"=1'-0"



4 CONTROL JOINT DETAIL
SCALE: 3/4"=1'-0"



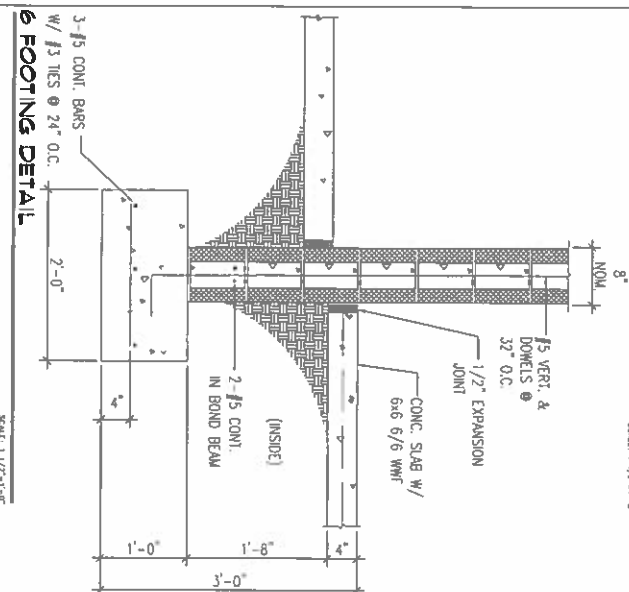
5 CONSTRUCTION JOINT DETAIL
SCALE: 1'-1'-0"



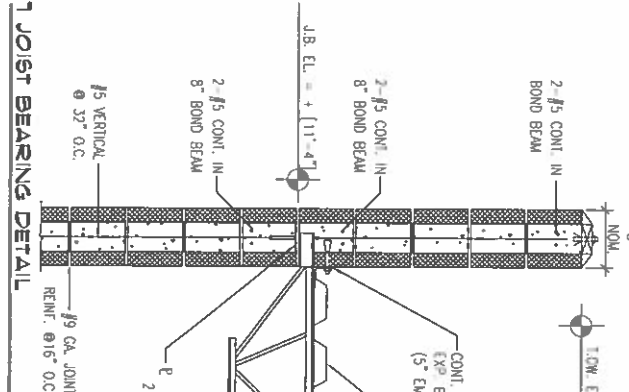
6 WOOD VIGA DETAIL
SCALE: 3/4"=1'-0"

7 CMU HEADER SCHEDULE
SCALE: 3/4"=1'-0"

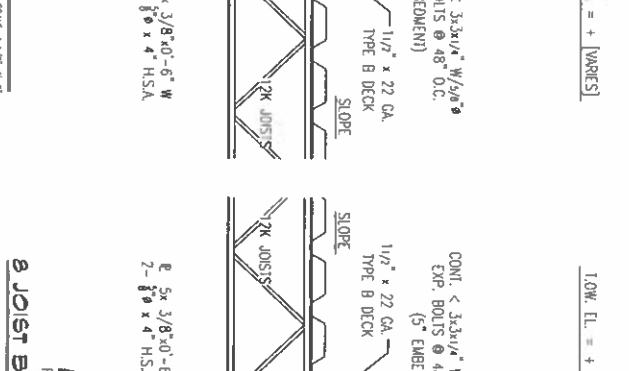
TYPE	DEPTH	REINFORCEMENT	YES	JAMB	JAMB REIN
W1	8"	2 - #5			2 - #5 VERT.
W2	16"	4 - #5			2 - #5 VERT.
W3	20"	6 - #5			2 - #5 VERT.
W4	16"	4 - #5			2 - #5 VERT.



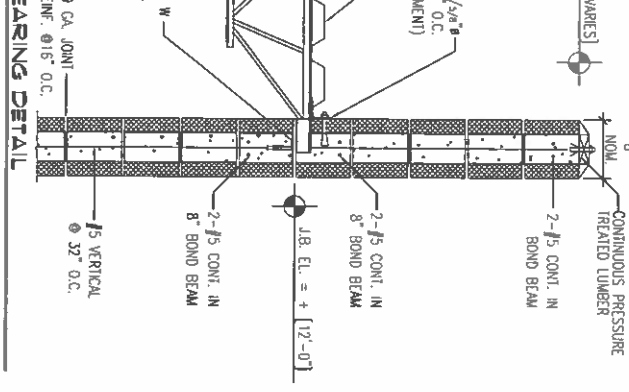
6 FOOTING DETAIL
SCALE: 1/2"=1'-0"



7 JOIST BEARING DETAIL
SCALE: 1/2"=1'-0"



8 JOIST BEARING DETAIL
SCALE: 1/2"=1'-0"



9 JOIST BEARING DETAIL
SCALE: 1/2"=1'-0"

**CITY OF SUNLAND PARK
SPORTS COMPLEX**

CONCESSIONS STAND

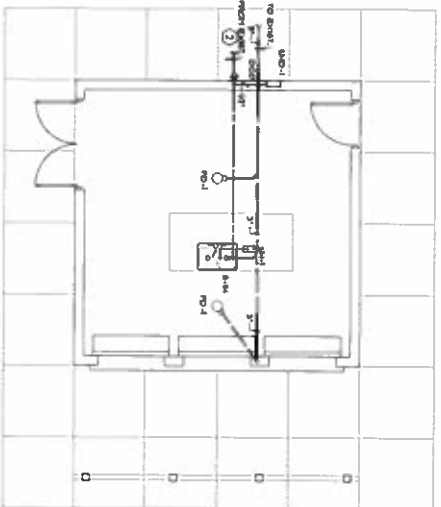
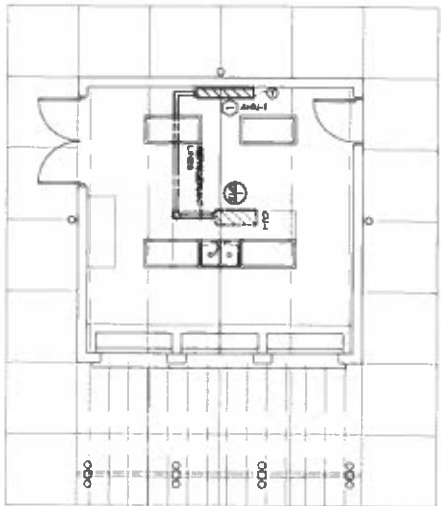
SUNLAND PARK, NEW MEXICO



REVISIONS

NO.	DATE	DESCRIPTION

CONSTRUCTION DOCUMENTS
NOVEMBER 2018
SHEET 5 OF 5



MECHANICAL PLAN

SCALE: 1/2" = 1'-0"

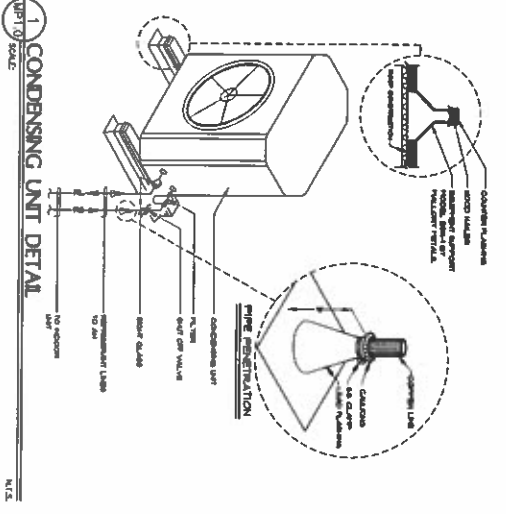
PLUMBING PLAN

SCALE: 1/2" = 1'-0"

- KEYED NOTES**
- 1. BRASS CONDENSATE DRAIN MUST BE VERTICAL TO EQUIPMENT UNDERGROUND.
 - 2. RIGID JOINTS BEING FORMING WATER LINE AND DRAINING RETURN LINE BEHIND STAIRWELL.

WATER HEATER SCHEDULE

MARK	WTROR	MODEL	QTY	ROOM	REMARKS
WH-1	WTROR	RECOVERY	1	REAR	REAR
		WATER			
		HEATER			

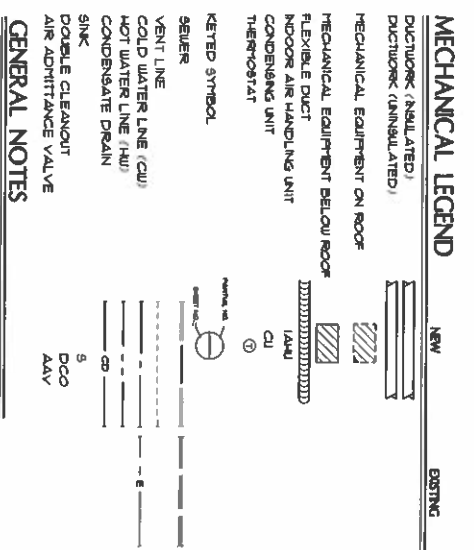
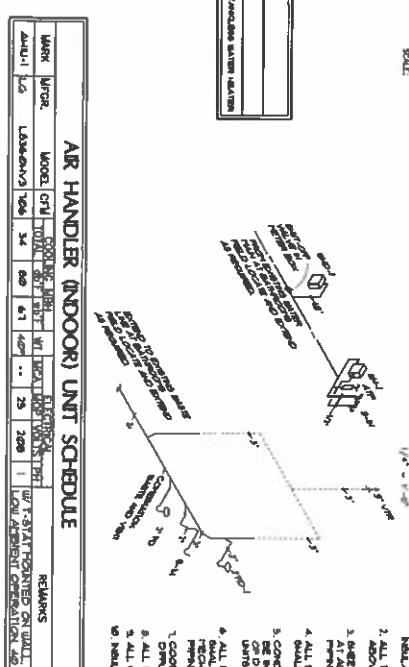


AIR HANDLER (INDOOR) UNIT SCHEDULE

MARK	WTROR	MODEL	QTY	ROOM	REMARKS
AHU-1	WTROR	LSA-040V2	1	REAR	REAR

CONDENSING UNIT (OUTDOOR) SCHEDULE

MARK	WTROR	MODEL	QTY	ROOM	REMARKS
CU-1	WTROR	LSA-040V2	1	REAR	REAR



- GENERAL NOTES**
1. DUCT CONDENSATION MUST BE AIR PASSED OUTSIDE. ALL UNINSULATED DUCT IS TO BE LINED OR UNLINED AS SPECIFIED.
 2. ALL TEMPERATURES AND CONTROLS, UNLESS NOTED OTHERWISE, SHALL BE LOCATED 4'-6" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
 3. ALL WATER AND CONDENSATE DRAIN LINES SHALL BE TYPE L COPPER.
 4. ALL CONDENSATE DRAIN LINES SHALL BE TYPE L COPPER.
 5. ALL WATER AND CONDENSATE DRAIN LINES SHALL BE TYPE L COPPER.
 6. INSULATE ALL DRAINING WATER LINES WITH 1" NON-FIBERGLASS INSULATION.

FLUID SYSTEMS, INC.

10000 N. 24th Ave., Suite 100, Phoenix, AZ 85024
 (602) 998-1111

DATE: (11/1) 2018
 DRAWING NO: 18-001
 PROJECT: SUNLAND PARK

REVISIONS

NO.	DATE	DESCRIPTION
1	10/15/18	ISSUE FOR PERMIT

APPROVED: [Signature]
 PROJECT MANAGER: [Signature]

CITY OF SUNLAND PARK

SPORTS COMPLEX

CONCESSIONS STAND

SUNLAND PARK, NEW MEXICO

NINE DESIGN

ARCHITECTURAL, INTERIOR DESIGN, AND CONSTRUCTION ADMINISTRATION

1000 N. 24th Ave., Suite 100, Phoenix, AZ 85024
 (602) 998-1111

MP-1

1 OF 1

GENERAL ELECTRICAL SPECS:

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOOK THROUGH ALL DRAWINGS ASSOCIATED WITH THIS PROJECT. WORK ASSOCIATED WITH THE ELECTRICAL CONTRACTOR'S TRADE MAY BE SHOWN ON OTHER DRAWINGS. ANY ADDITIONAL COSTS RESULTING FROM THE FAILURE TO INCLUDE THESE ITEMS SHOWN ON OTHER DRAWINGS WILL BE INCURRED BY THE CONTRACTOR.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VISIT EACH SITE TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT.
3. THE CONTRACTOR SHALL NOT SCALE THE CONTRACT DOCUMENTS, THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC IN NATURE AND DO NOT COMPLETELY DEMIC ALL EXISTING CONDITIONS IN THE AREA.
4. ALL RECEPTABLES TO BE 20A COMMERCIAL GRADE. MOUNT WALL PLATES SHALL BE STAINLESS STEEL.
5. FIRESTOPPING OF PENETRATIONS IN FIRE-RATED WALLS FLOORS, etc. SHALL BE DONE BY A FIRESTOPPING CONTRACTOR. ELECTRICAL CONTRACTOR SHALL MAKE REQUIRED PENETRATIONS IN RATED WALLS, FLOORS, etc. NEARLY AND WITH A CUTTING TOOL. THE CONTRACTOR SHALL MAKE THE PENETRATIONS NO LARGER THAN NECESSARY, AND THE CONTRACTOR SHALL COORDINATE ALL SUCH PENETRATIONS WITH THE FIRE STOPPING CONTRACTOR BEFORE SUCH PENETRATIONS ARE MADE.
6. FINISHED FLOOR ELEVATIONS FOR OUTLETS AND OTHER DEVICES ARE TO CENTER OF BOX WHERE MILLWORK IS PRESENT. BOTTOM OF BOX SHALL BE MINIMUM OF 2" ABOVE BACK-SPLASH. REGARDLESS OF DIMENSION SHOWN ON PLANS.
7. USE GLAND RING COMPRESSION THEADED FITTINGS WITH INSULATED THROAT FOR EMT CONDUIT. DOUBLE SET SCREW FITTINGS ARE ACCEPTABLE FOR 2-1/2" CONDUIT AND LARGER. ONLY PATCHING OR SEALING OF CUTS, PENETRATIONS, ETC. SHALL BE DONE BY CONTRACTOR PER INSTRUCTIONS FROM AND TO FINAL APPROVAL OF ARCHITECT OR ENGINEER. COORDINATE WITH GENERAL CONTRACTOR.
8. PROVIDE THE OWNER WITH THREE (3) COPIES OF ALL INSTALLATIONS INSTRUCTIONS, PRODUCT DATA SHEET, ALL INFORMATION, WARRANTIES, CONTACT INFORMATION DURING WARRANTY PERIOD AND BALANCING REPORTS IN JARING BINDERS.
9. ALL SYSTEMS AND COMPONENTS SHALL BE APPROVED FOR THE PURPOSE FOR WHICH INSTALLED. ALL EQUIPMENT AND MATERIALS SHALL BE NEW AND FROM ESTABLISHED AMERICAN SUPPLIERS UNLESS OTHERWISE INDICATED.
10. THE ELECTRICAL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE APPLICABLE AND ADOPTED PROVISIONS OF THE NATIONAL ELECTRICAL CODE, ENERGY CODE AS ADOPTED AND INTERPRETED BY THE STATE OF NEW MEXICO, AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) REGULATIONS, CURRENT ADOPTED EDITION REGARDING MECHANICAL SYSTEMS, RULES, REGULATIONS AND ORDINANCES SHALL BE PROVIDED, WHERE THE DRAWINGS INDICATE MATERIALS OR CONSTRUCTION IN EXCESS OF CODE REQUIREMENTS, THE DRAWINGS AND/OR SHALL GOVERN. THE CONTRACTOR SHALL HOLD AND SAVE THE OWNER, ARCHITECT AND ENGINEERS FREE AND HARMLESS FROM LIABILITY OF ANY NATURE OR KIND ARISING FROM HIS FAILURE TO COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
11. THE CONTRACTOR SHALL COORDINATE WITH OWNER, ARCHITECT, AND/OR ENGINEER ANY WORK THAT HAS THE POTENTIAL TO HINDER ELECTRICAL SERVICES TO AREA OUTSIDE OF THIS CONTRACT. ALL SHUT-DOWNS OR TIENS RELATING TO THESE SYSTEMS SHALL BE SCHEDULED AND SUBMITTED IN WRITING TO BE APPROVED BY THE OWNER'S FACILITY MANAGEMENT, OWNER, ARCHITECT, OR ENGINEER. CONTRACTOR SHALL SUBMIT IN WRITING A SCHEDULE FOR PHASING OF CONSTRUCTION THAT INDICATES AREAS OF FIRST PRIORITY DURING EACH PHASE AND ANTICIPATED COMPLETION TIMES. SCHEDULES SHALL BE SUBMITTED A MINIMUM OF ONE WEEK PRIOR TO COMMENSING WORK. FACILITY MANAGEMENT, OWNER, ARCHITECT OR ENGINEERS SHALL REVIEW THESE SCHEDULES AND NOTIFY CONTRACTOR OF ACCEPTANCE PRIOR TO COMMENCEMENT OF WORK.
12. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND PROVIDE A WRITTEN REPORT TO THE ARCHITECT OFFICE. THIS REPORT SHALL DESCRIBE EXISTING DAMAGE OR OTHER CONDITIONS THAT MAY INTERFERE WITH THIS PROPOSED NEW WORK. THIS SITE SURVEY SHALL ALSO INCLUDE VERIFICATION OF SIZES, LOCATIONS, AND CONDITIONS OF EXISTING UTILITIES.
13. ALL WORK SHALL CONFORM WITH FEDERAL, STATE, AND LOCAL CODES, RULES, AND REGULATIONS. ALL WORK SHALL BE PERFORMED BY LICENSED CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE SYSTEMS SHALL BE INSTALLED COMPLETE AND FULLY OPERATIVE UNLESS OTHERWISE INDICATED.
14. REQUIRED INSURANCE SHALL BE PROVIDED BY THIS CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF WORK. CONTRACTOR SHALL SECURE AND PAY ALL PERMITS, FEES, INSPECTIONS, AND TESTS UNLESS OTHERWISE INDICATED. COORDINATE WITH ARCHITECT, ENGINEER OR OWNER. SUBSTITUTIONS REQUESTED BY THE CONTRACTOR SHALL BE PAID FOR BY THE CONTRACTOR.



16. COORDINATE WORK WITH ALL OTHER TRADES GIVING SPECIAL CONSIDERATION TO OUTLET LOCATIONS AT MILLWORK.
17. HOMERUNS TO PANEL SHALL BE 3/4" AS PER NMU REQUIREMENTS. USE OF CONDUIT AS ONLY GROUND PATH IS UNACCEPTABLE. IN CONCEALED LOCATION ONLY IT SHALL BE PERMITTED TO USE METAL CLAD TYPE WIRING.
18. INSTALL OUTLETS AND COMMUNICATION DEVICES IN STRICT COORDINATION WITH ARCHITECTURAL.
19. BEFORE INSTALLATION EQUIPMENT AND DEVICES INCLUDING, BUT NOT LIMITED TO ANY DEVICES WITH ELECTRICAL CONNECTIONS SHALL NOT BE STORED DIRECTLY ON GRADE OR ON SLAB OR FLOOR BEFORE AND AFTER INSTALLATION. SUCH EQUIPMENT AND DEVICES SHALL BE PROTECTED FROM ENTRY OF DIRT, TRASH WATER (EXCEPT AS REQUIRED), VERMIN, ETC.

Section 1: Project Information

Section 2: Interior Lighting and Power Calculation

Section 3: Interior Lighting Fixture Schedule

Section 4: Compliance Schedule

Section 5: Compliance Schedule

Section 6: Compliance Schedule

OUTDOOR LIGHTING CALCULATIONS

Area	1000 sq ft
Footcandle	10
Wattage	1000
Efficiency	0.8
Wattage	1250
Number of Fixtures	10

MINIMUM BUC RATINGS

TYPE	NO.	CONDUCTOR	WIRE	TYPE	NO.	CONDUCTOR	WIRE
...



P.E. Engineering
 17100 1st Street
 Albuquerque, NM 87105
 505-263-1111

**CITY OF SUNLAND PARK
 SPORTS COMPLEX
 CONCESSIONS STAND
 SUNLAND PARK, NEW MEXICO**

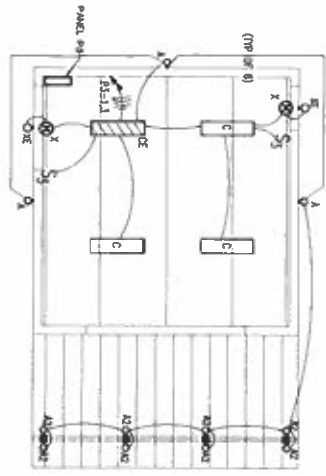


E-1
 SHEET 1 OF 2

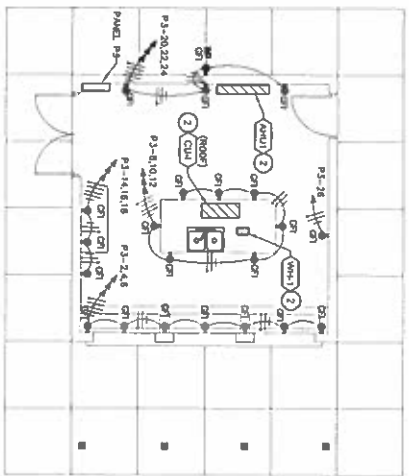
REVISIONS

NO.	DATE	DESCRIPTION

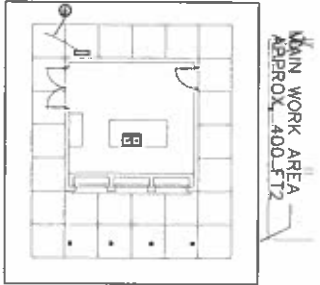
Project: CONCESSIONS DOCUMENTS
 Date: 201878
 Project No: 201878
 Date: AUGUST 2018



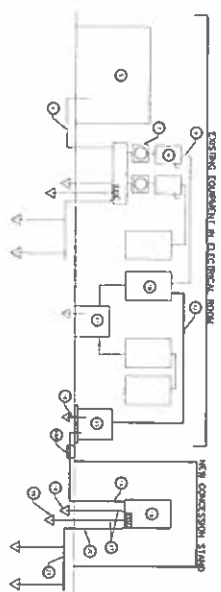
LIGHTING PLAN
SCALE 1/4" = 1'-0"



POWER PLAN
SCALE 1/4" = 1'-0"



SITE WORK AREA APPROX. 400 FT2
SCALE 1/4" = 1'-0"



PARTIAL RISER DIAGRAM WITH NEW WORK
NO TO SCALE

STANDARD WIRELESS ELECTRIFICATION

WIRE TYPE	SIZE	DESCRIPTION	QUANTITY
PLUMBING	1/2"	PLUMBING	100
PLUMBING	3/4"	PLUMBING	100
PLUMBING	1"	PLUMBING	100
PLUMBING	1 1/2"	PLUMBING	100
PLUMBING	2"	PLUMBING	100
PLUMBING	2 1/2"	PLUMBING	100
PLUMBING	3"	PLUMBING	100
PLUMBING	4"	PLUMBING	100
PLUMBING	6"	PLUMBING	100
PLUMBING	8"	PLUMBING	100
PLUMBING	10"	PLUMBING	100
PLUMBING	12"	PLUMBING	100
PLUMBING	14"	PLUMBING	100
PLUMBING	16"	PLUMBING	100
PLUMBING	18"	PLUMBING	100
PLUMBING	20"	PLUMBING	100
PLUMBING	22"	PLUMBING	100
PLUMBING	24"	PLUMBING	100
PLUMBING	26"	PLUMBING	100
PLUMBING	28"	PLUMBING	100
PLUMBING	30"	PLUMBING	100
PLUMBING	32"	PLUMBING	100
PLUMBING	34"	PLUMBING	100
PLUMBING	36"	PLUMBING	100
PLUMBING	38"	PLUMBING	100
PLUMBING	40"	PLUMBING	100
PLUMBING	42"	PLUMBING	100
PLUMBING	44"	PLUMBING	100
PLUMBING	46"	PLUMBING	100
PLUMBING	48"	PLUMBING	100
PLUMBING	50"	PLUMBING	100
PLUMBING	52"	PLUMBING	100
PLUMBING	54"	PLUMBING	100
PLUMBING	56"	PLUMBING	100
PLUMBING	58"	PLUMBING	100
PLUMBING	60"	PLUMBING	100
PLUMBING	62"	PLUMBING	100
PLUMBING	64"	PLUMBING	100
PLUMBING	66"	PLUMBING	100
PLUMBING	68"	PLUMBING	100
PLUMBING	70"	PLUMBING	100
PLUMBING	72"	PLUMBING	100
PLUMBING	74"	PLUMBING	100
PLUMBING	76"	PLUMBING	100
PLUMBING	78"	PLUMBING	100
PLUMBING	80"	PLUMBING	100
PLUMBING	82"	PLUMBING	100
PLUMBING	84"	PLUMBING	100
PLUMBING	86"	PLUMBING	100
PLUMBING	88"	PLUMBING	100
PLUMBING	90"	PLUMBING	100
PLUMBING	92"	PLUMBING	100
PLUMBING	94"	PLUMBING	100
PLUMBING	96"	PLUMBING	100
PLUMBING	98"	PLUMBING	100
PLUMBING	100"	PLUMBING	100

FIXTURE SCHEDULE

TYPE	DESCRIPTION	QUANTITY
A	FLUORESCENT LIGHT FIXTURE 4' X 8' 2' (2000 LUMENS)	10
B	FLUORESCENT LIGHT FIXTURE 2' X 4' (1000 LUMENS)	20
C	FLUORESCENT LIGHT FIXTURE 2' X 2' (500 LUMENS)	40
D	FLUORESCENT LIGHT FIXTURE 1' X 4' (500 LUMENS)	40
E	FLUORESCENT LIGHT FIXTURE 1' X 2' (250 LUMENS)	80
F	FLUORESCENT LIGHT FIXTURE 1' X 1' (125 LUMENS)	160
G	FLUORESCENT LIGHT FIXTURE 1/2' X 1' (62 LUMENS)	320
H	FLUORESCENT LIGHT FIXTURE 1/2' X 1/2' (31 LUMENS)	640
I	FLUORESCENT LIGHT FIXTURE 1/4' X 1' (31 LUMENS)	640
J	FLUORESCENT LIGHT FIXTURE 1/4' X 1/2' (15 LUMENS)	1280
K	FLUORESCENT LIGHT FIXTURE 1/4' X 1/4' (7 LUMENS)	2560
L	FLUORESCENT LIGHT FIXTURE 1/8' X 1/4' (3 LUMENS)	5120
M	FLUORESCENT LIGHT FIXTURE 1/8' X 1/8' (1 LUMENS)	10240

PANEL SCHEDULE

PANEL NO.	DESCRIPTION	TYPE	SIZE	VOLTS	PHASE	TERMINALS	REMARKS
1	MAIN	MAIN	48"	480	3	72	
2	CLUB	CLUB	48"	480	3	72	
3	RAMP	RAMP	48"	480	3	72	
4	NEW WORK	NEW WORK	48"	480	3	72	

- GENERAL NOTES
1. LIGHT FIXTURES SHALL NOT BE USED AS SOURCE OF REQUIRED POWER. PROVIDE A FEED CONDUIT AND BOX TO REMAIN AT FUTURE.
 2. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
 3. FIELD VERIFY WITH OWNER EXISTING SOURCE ELECTRICAL REQUIREMENTS AND PROVIDE AS REQUIRED.
 4. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
 5. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
 6. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
 7. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
 8. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
 9. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
 10. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
 11. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
 12. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
 13. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
 14. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
 15. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
 16. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
 17. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
 18. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
 19. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
 20. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
 21. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
 22. PROVIDE 20 FT OF 1/2" DIA. CONDUIT TO REMAIN AT FUTURE FOR FEED TO LIGHT FIXTURES.
- KEYED NOTES
1. INSTALL FROM SOURCE WORK ON HANG AT 8' AFF AS COMPACT.
 2. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 3. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 4. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 5. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 6. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 7. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 8. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 9. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 10. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 11. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 12. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 13. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 14. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 15. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 16. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 17. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 18. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 19. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 20. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 21. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.
 22. NOTIFY OWNER TO PROVIDE TO MECHANICAL EQUIPMENT HANG FOR SAME ELEVATION.

PE² Engineering
 200 NE Delaware Ave.
 Portland, OR 97232
 Telephone: 503-251-4400
 Fax: 503-251-4401
 www.pe2eng.com

REVISIONS

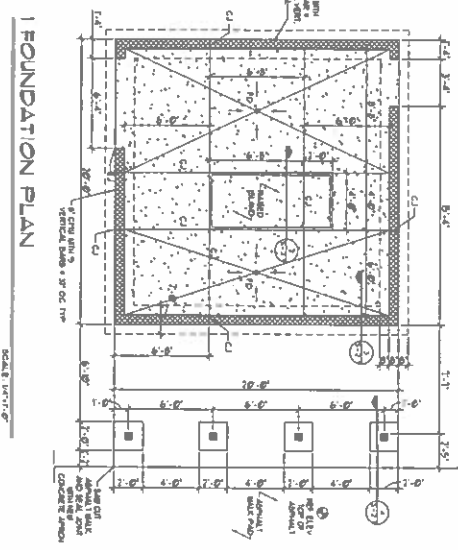
NO.	DATE	DESCRIPTION
1	08/08/2018	ISSUE FOR PERMIT
2	08/08/2018	ISSUE FOR PERMIT

PROJECT: CONCESSIONS STAND
 SHEET: E-2 OF 2

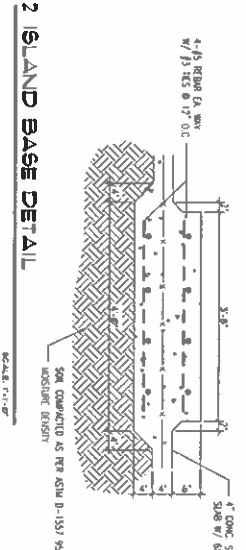
CITY OF SUNLAND PARK
 SPORTS COMPLEX
 CONCESSIONS STAND
 SUNLAND PARK, NEW MEXICO

NINE DEGREES
 ARCHITECTURE & DESIGN, INC.
 1100 S. CENTRAL AVENUE, SUITE 100
 DENVER, CO 80202
 TEL: 303.733.9000
 WWW.NINEDEGREESARCHITECTURE.COM

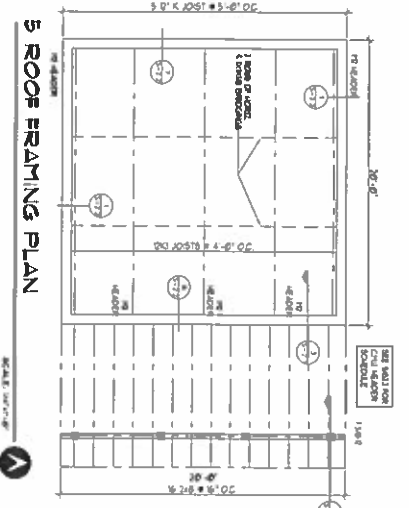
1.5000 P.S.I. 4" CONCRETE AT 120 SP. 4-4# BAR
 4'-0" DIA. 12" DIA. 18" DIA. 24" DIA.
 30" DIA. 36" DIA. 42" DIA. 48" DIA.



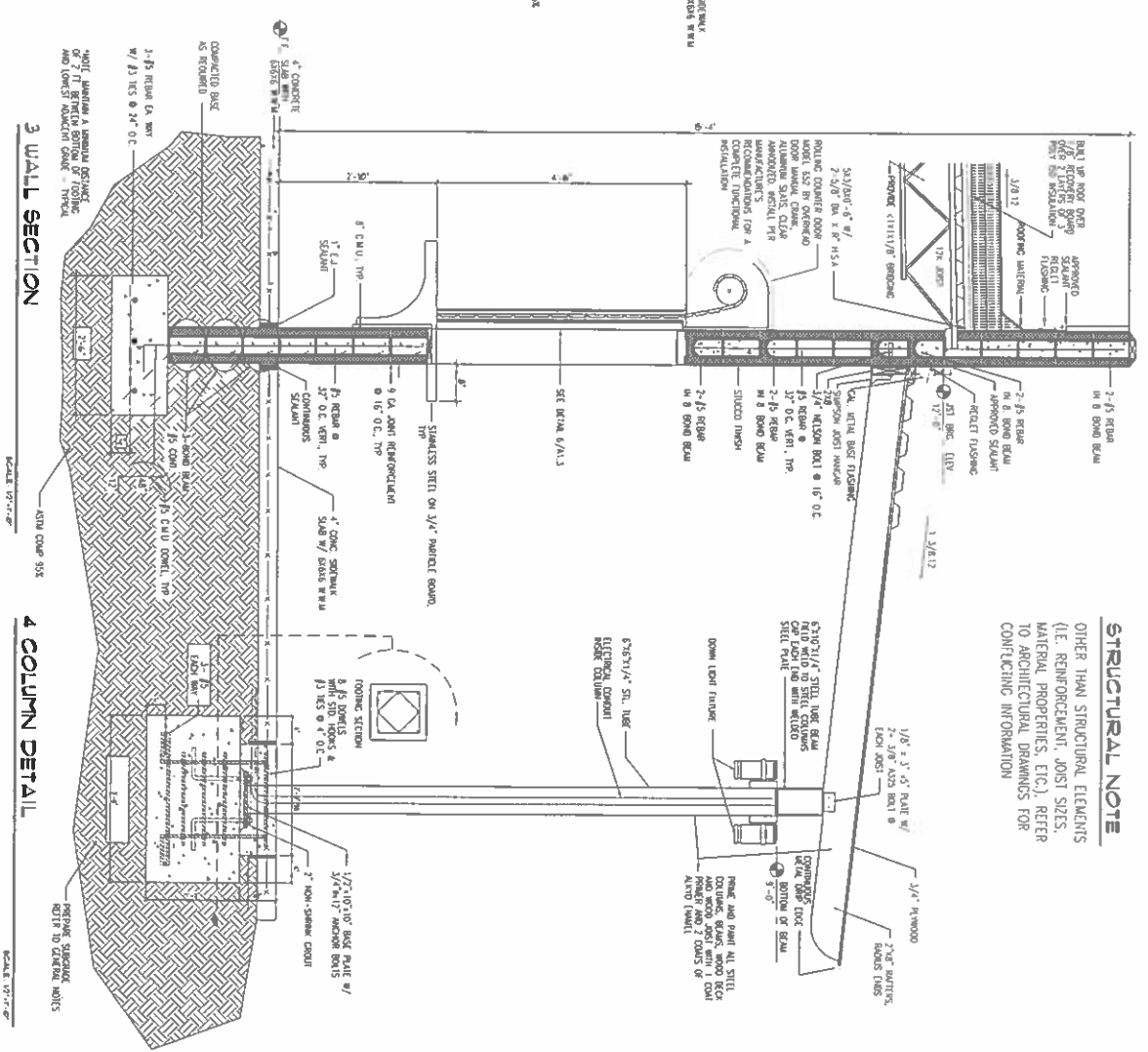
1 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



2 ISLAND BASE DETAIL
 SCALE: 1/4" = 1'-0"



3 ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"



3 WALL SECTION
 SCALE: 1/4" = 1'-0"

4 COLUMN DETAIL
 SCALE: 1/4" = 1'-0"

STRUCTURAL NOTE
 OTHER THAN STRUCTURAL ELEMENTS
 (I.E. REINFORCEMENT, JOIST SIZES,
 MATERIAL PROPERTIES, ETC.), REFER
 TO ARCHITECTURAL DRAWINGS FOR
 CONFLICTING INFORMATION

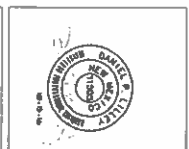
**CITY OF SUNLAND PARK
 SPORTS COMPLEX**
CONCESSIONS STAND
SUNLAND PARK, NEW MEXICO



REVISIONS	DATE

Drawing Title: WALL SECTION AND COLUMN DETAIL
 Project Name: CONCESSIONS STAND
 Project No.: 20187S
 Date: OCTOBER 2016
 Sheet No.: S-21
 SHEET 1 OF 2

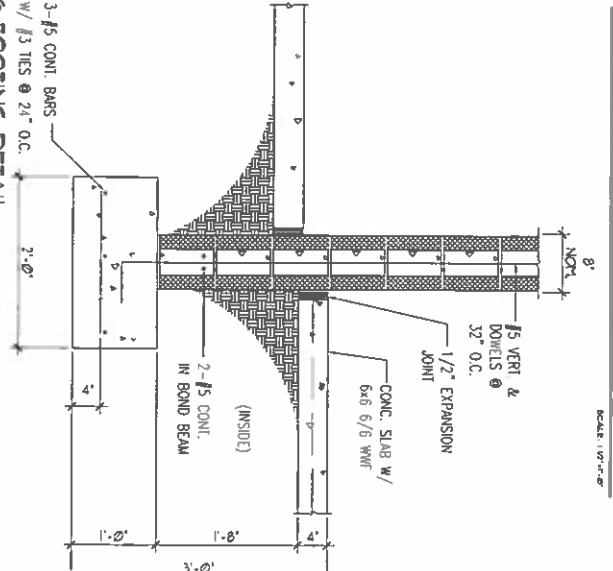
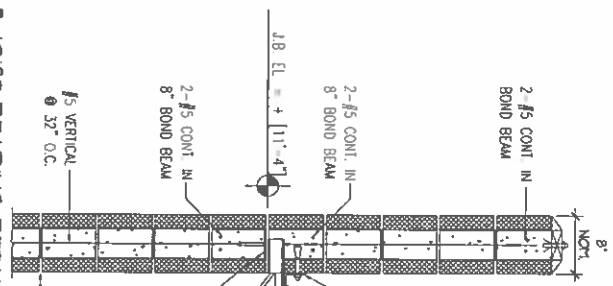
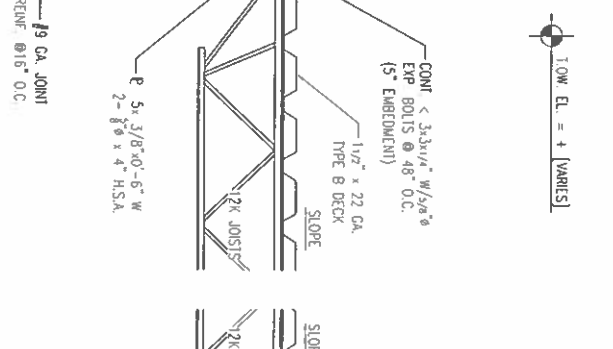
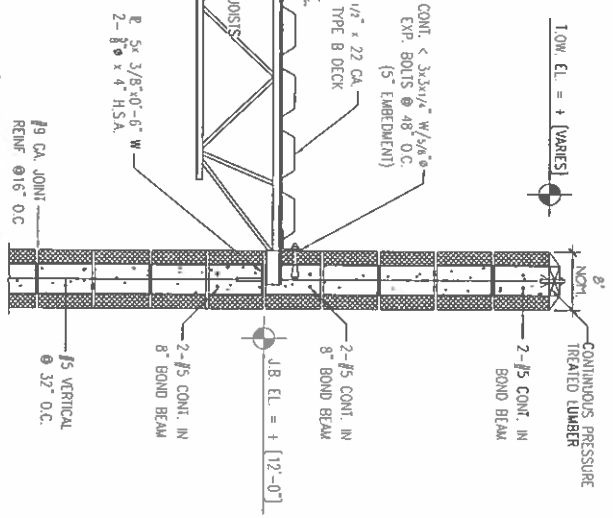
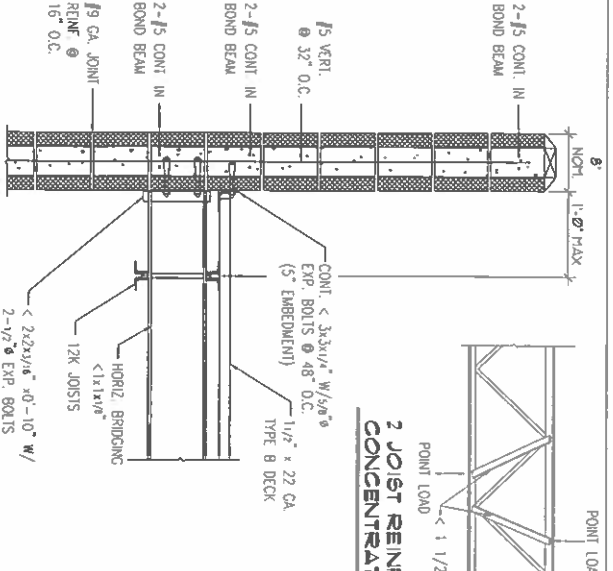
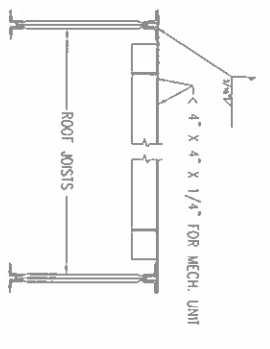
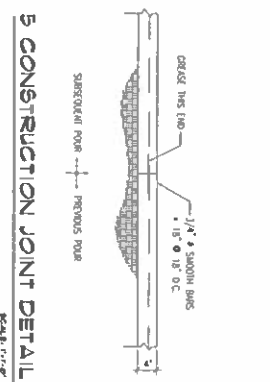
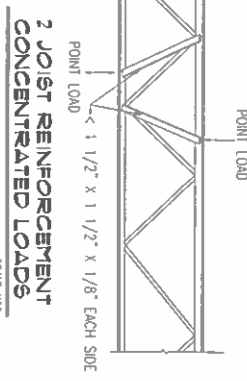
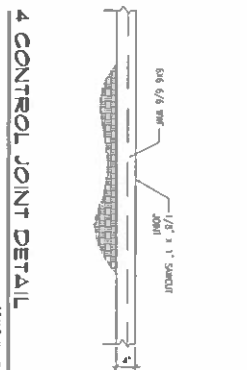
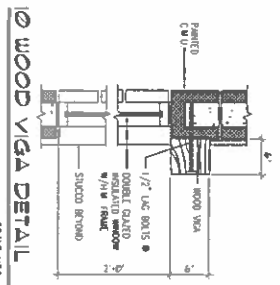
STRUCTURAL NOTE
 OTHER THAN STRUCTURAL ELEMENTS
 (I.E. REINFORCEMENT, JOIST SIZES,
 MATERIAL PROPERTIES, ETC.), REFER
 TO ARCHITECTURAL DRAWINGS FOR
 CONFLICTING INFORMATION



NINE DECREE
 ARCHITECTURE & ENGINEERING, INC.
 10000
 10000
 10000

CMU HEADER SCHEDULE

TYPE	DEPTH	REINFORCEMENT	TES	JAMB	JAMB REIN
H1	8"	2-#5	2-#5 @ 48" O.C.	0"	2-#5 VERT
H2	16"	4-#5	2-#5 @ 48" O.C.	0"	2-#5 VERT
H3	24"	6-#5	2-#5 @ 48" O.C.	0"	4-#5 VERT
H4	16"	4-#5	2-#5 @ 48" O.C.	2-#5 @ 48" O.C.	0"



REVISIONS

NO.	DATE	DESCRIPTION

Project: **ROOF FRAMING DETAILS AND SECTION**
 Drawing No: **201579**
 Date: **OCTOBER 2018**
 Sheet: **S-22** of **2**

CITY OF SUNLAND PARK
SPORTS COMPLEX
CONCESSIONS STAND
SUNLAND PARK, NEW MEXICO

7/15/2015

City Of Sunland Sports Complex - Google Maps



City Of Sunland Sports Complex

1 review

4700 McNutt Rd, Sunland Park, NM 88063

4700 McNutt Rd

Street View Search nearby

Measure distance
Total distance: 802.19 ft (244.51 m)
Turn on the map to add to your path

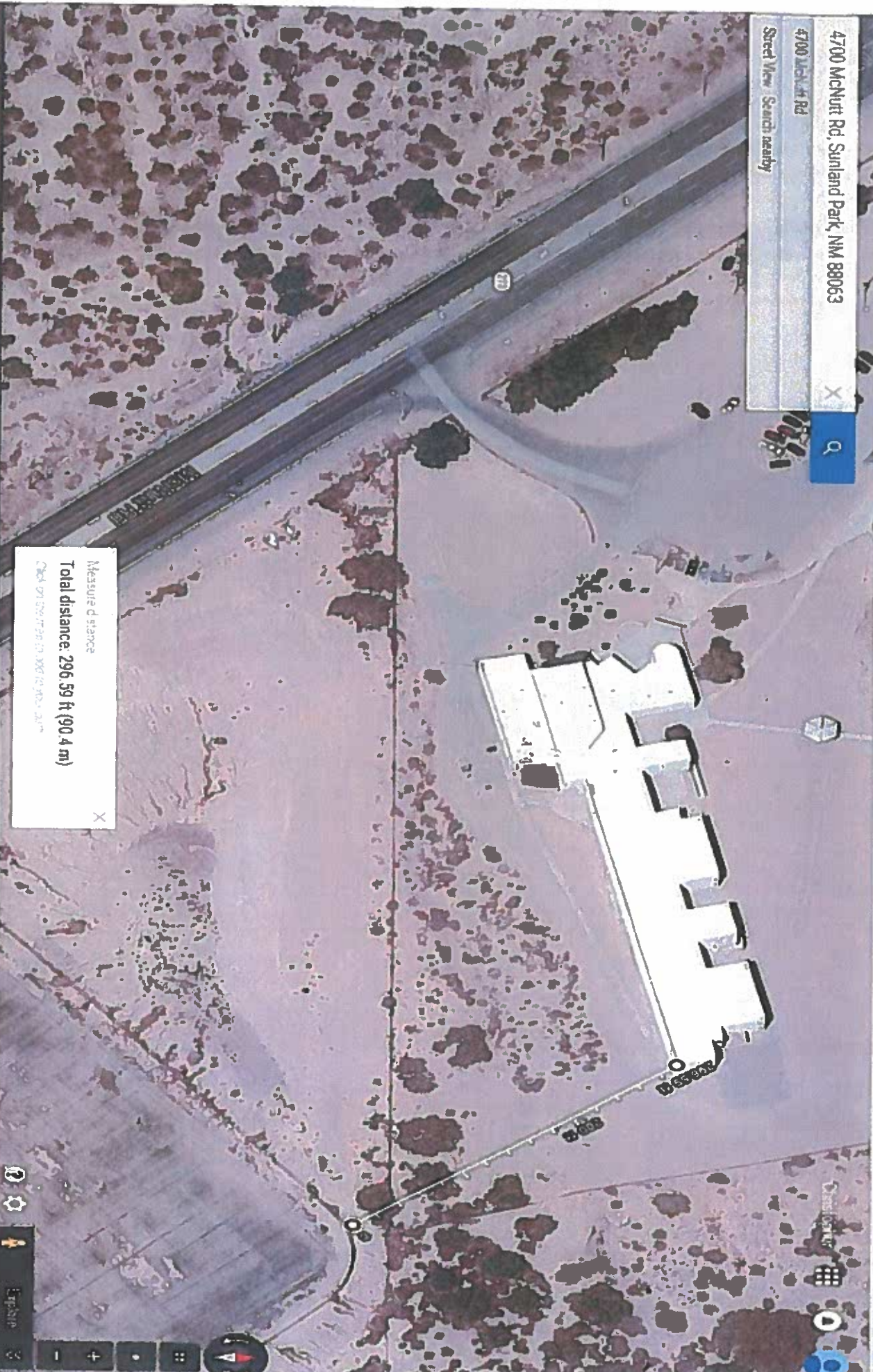
4700 McNutt Rd



4700 McNitt Rd, Sunland Park, NM 88063

4700 McNitt Rd

Street View Search nearby



Mesure d'espace
Total distance: 296.59 ft (90.4 m)
Click on the map to measure again



Map navigation controls including a compass, a location pin icon, a settings gear icon, and a 'Erase' button.

Map navigation controls including zoom in (+), zoom out (-), and a compass icon.

Map navigation controls including a 'Map' button and a thumbnail image of the current location with the address 'New Mexico 273, Sunland Park'.

Google

SPORTS COMPLEX

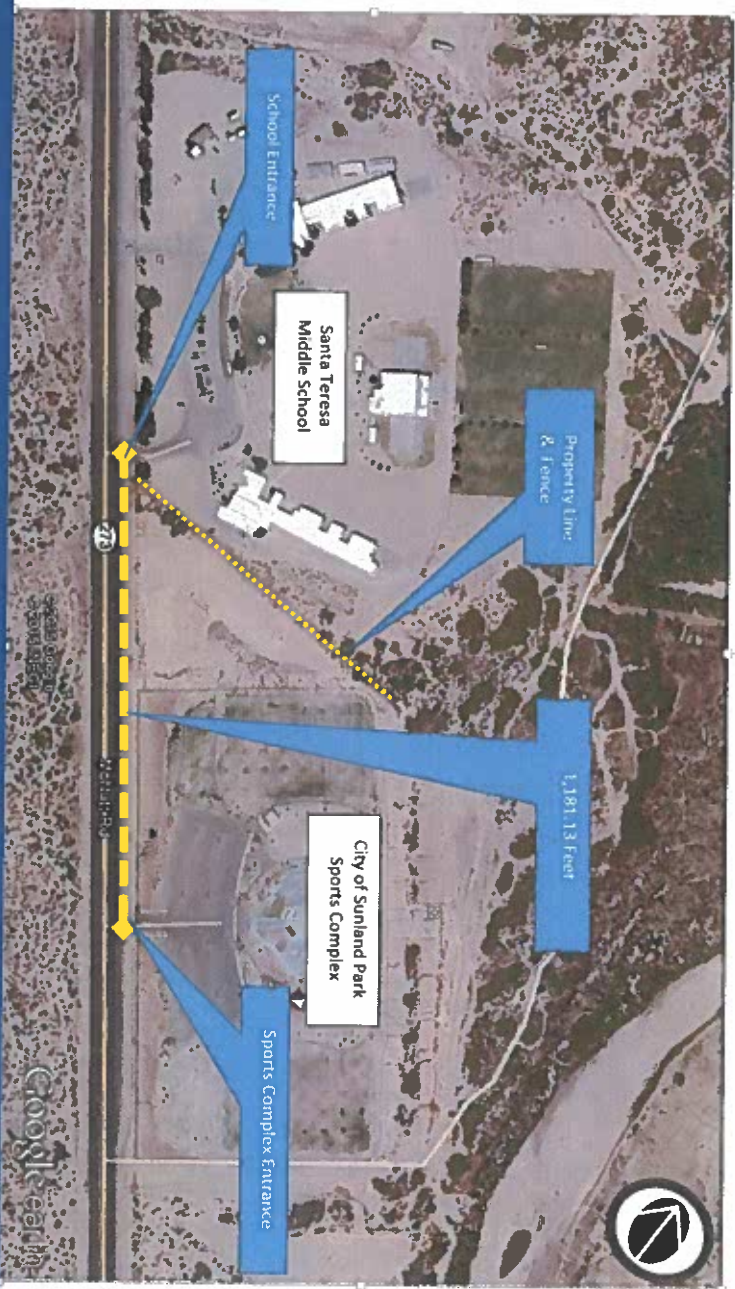
CITY OF SUNLAND PARK, NEW MEXICO



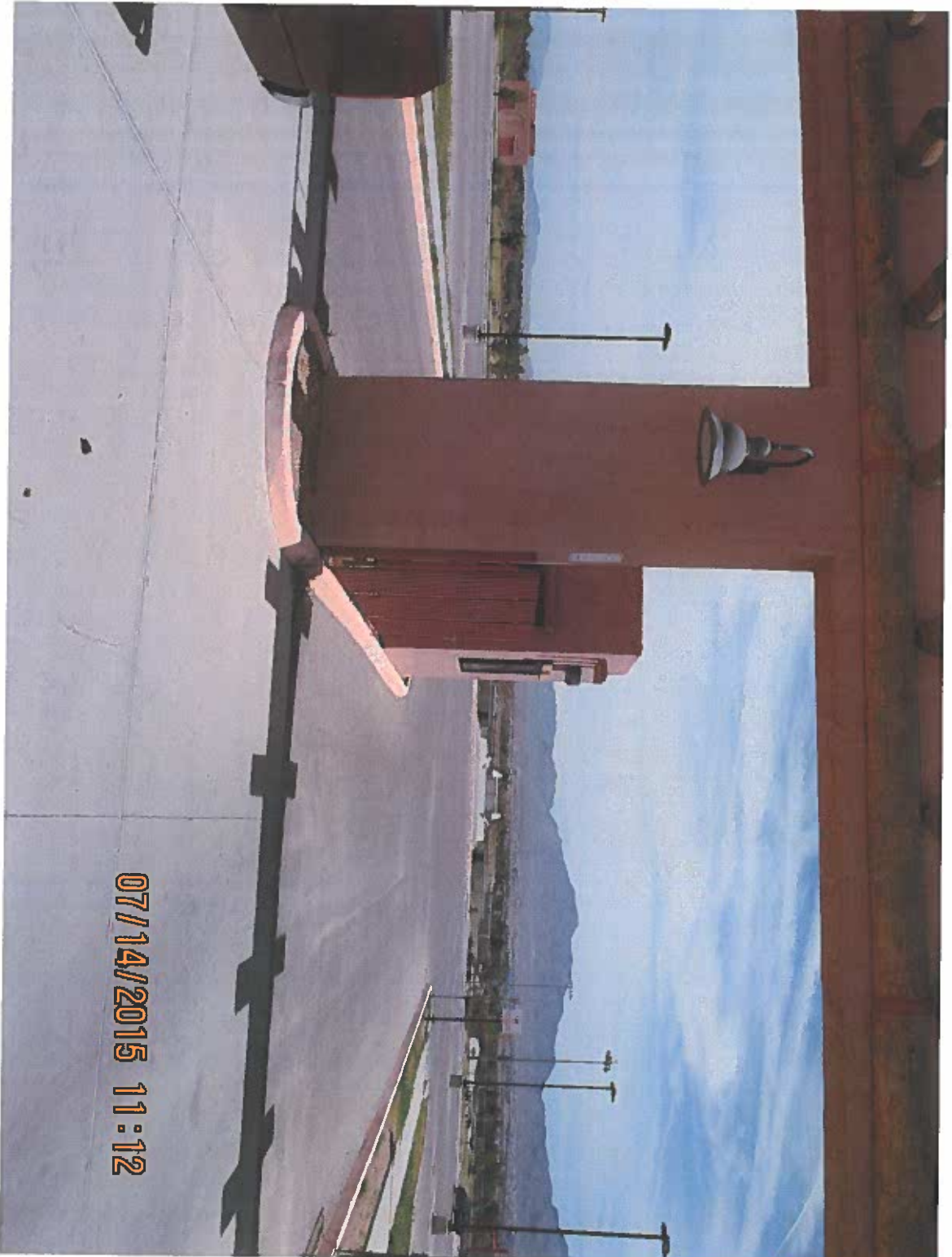


SPORTS COMPLEX

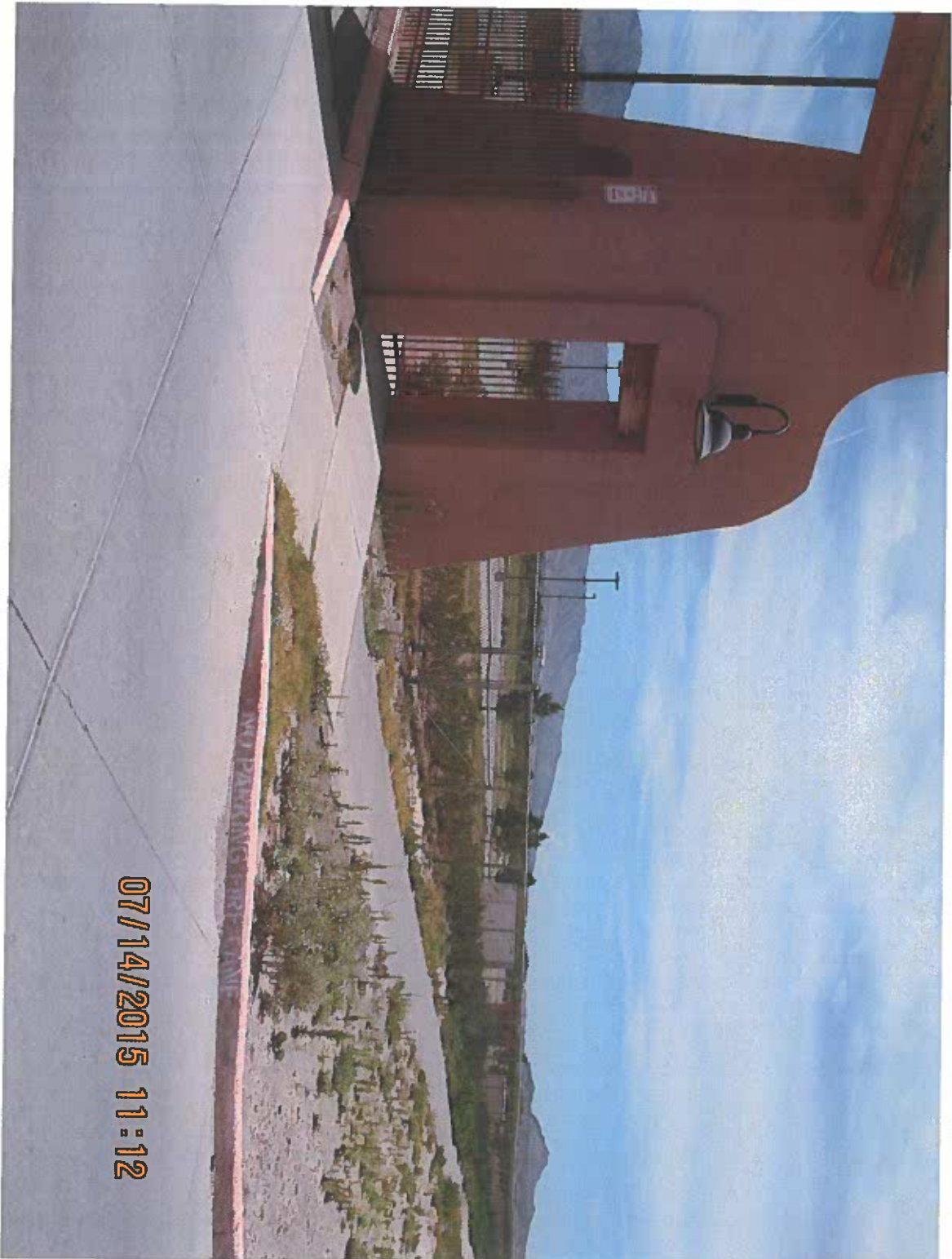
City of Sunland Park, New Mexico



City of Sunland Park - Sports Complex

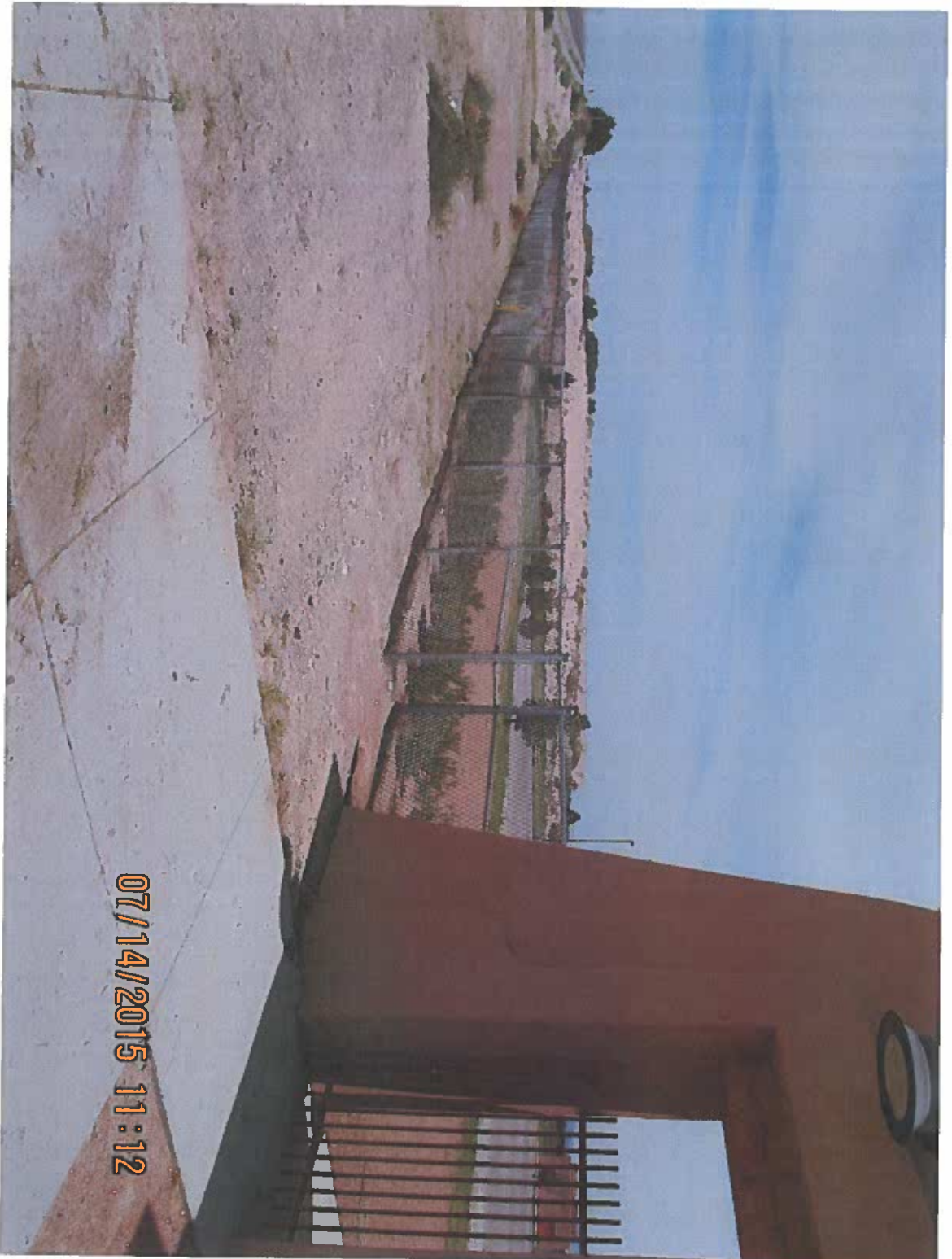


07/14/2015 11:12

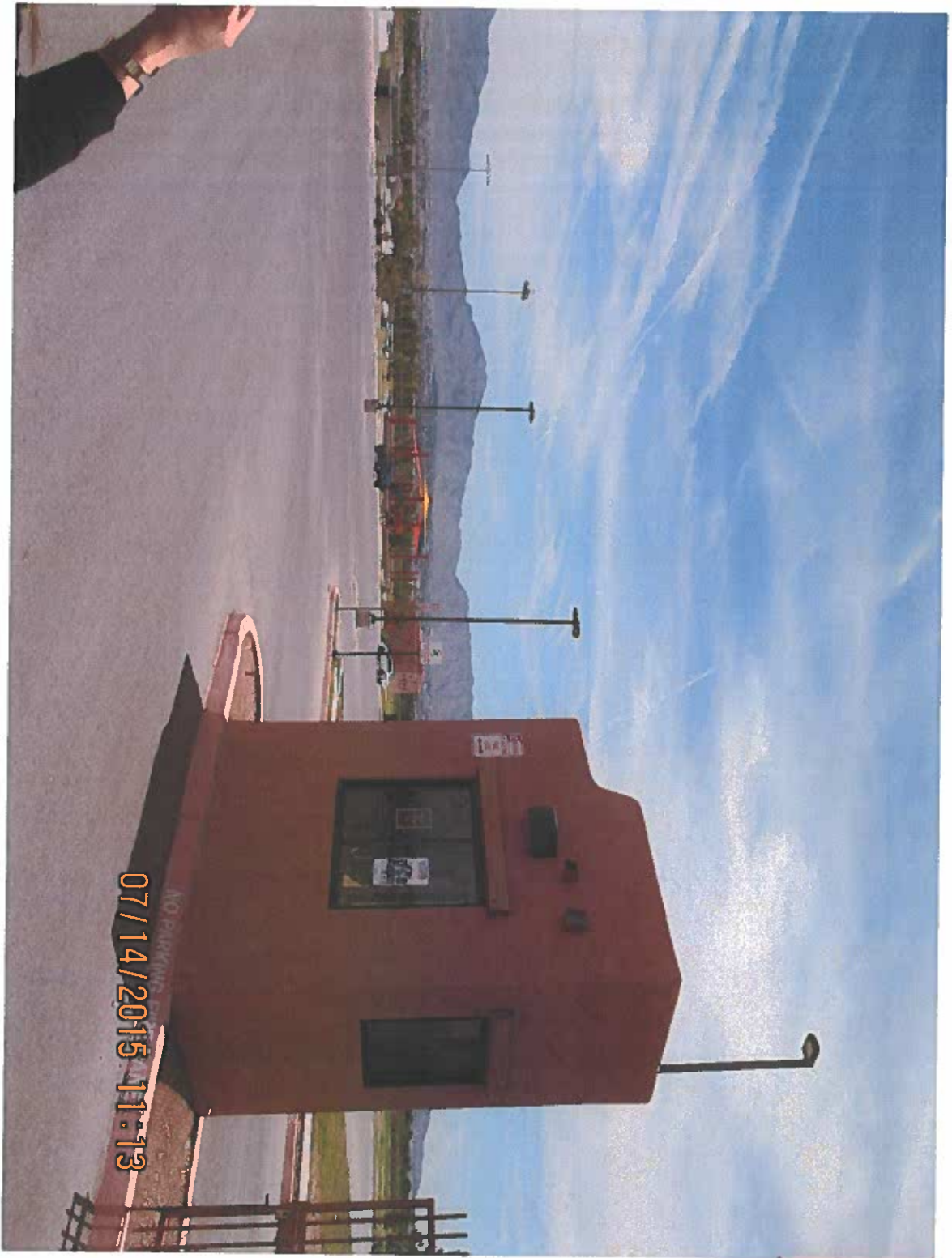


07/14/2015 11:12

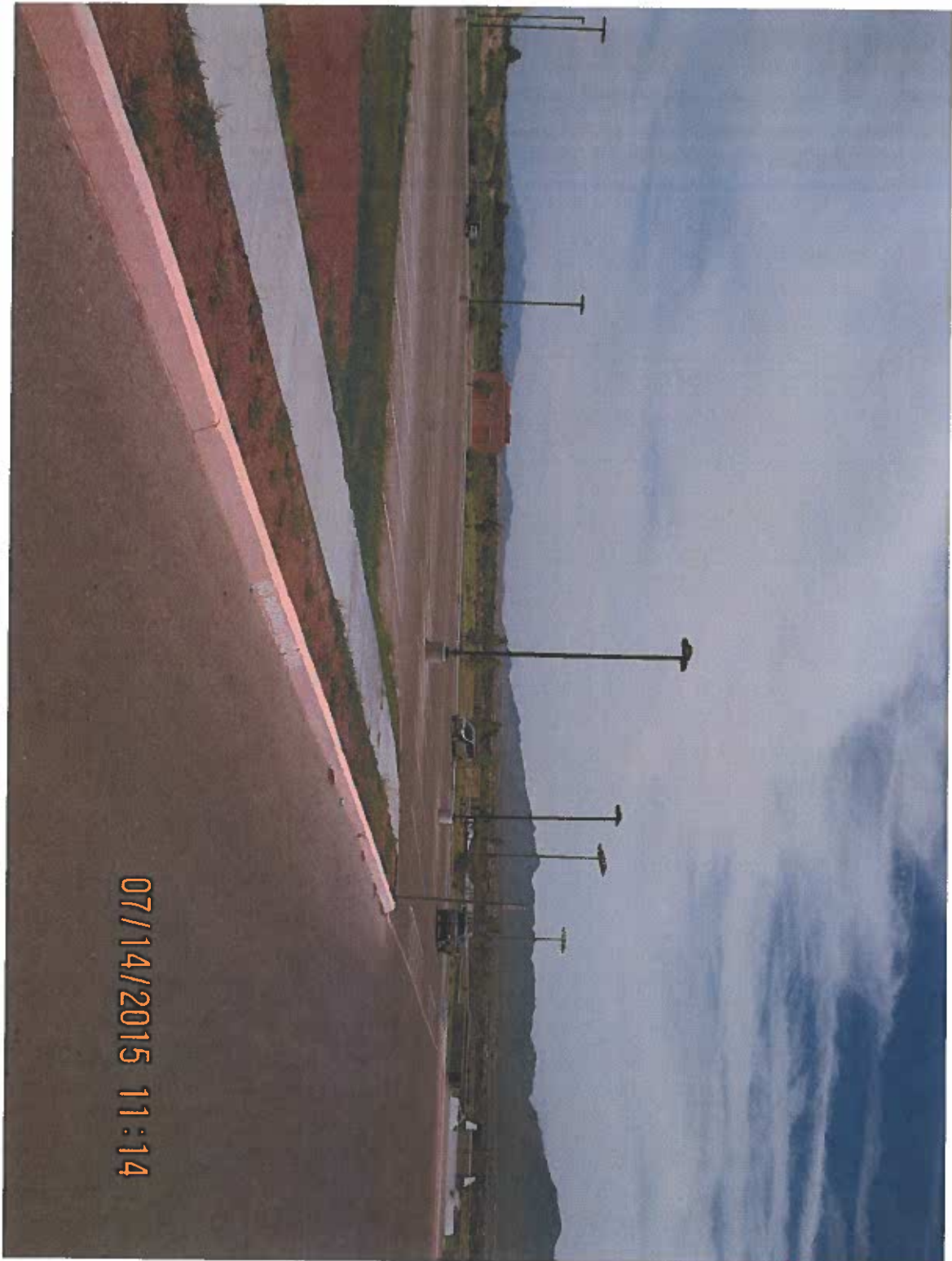




07/14/2015 11:12

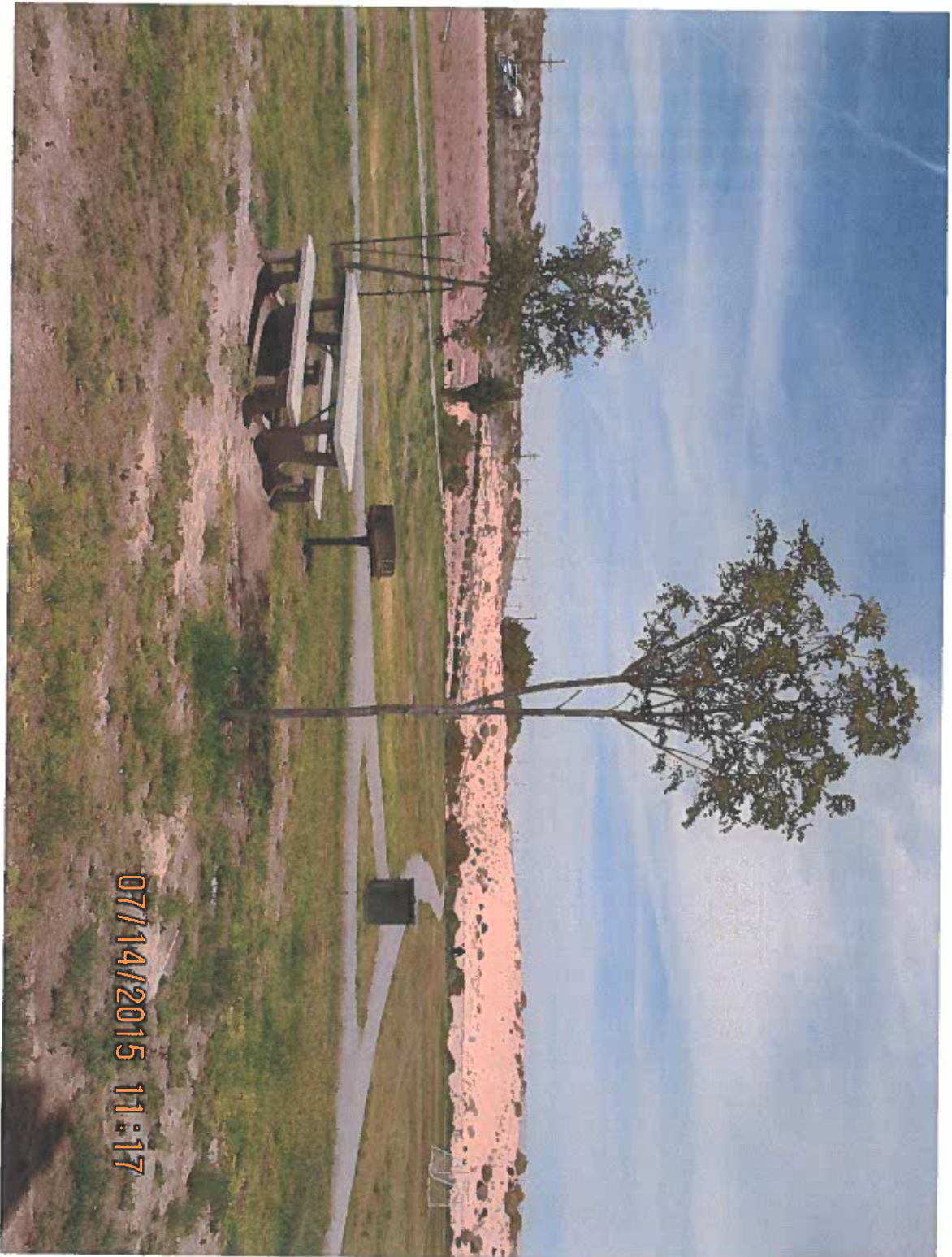


07/14/2015 11:13

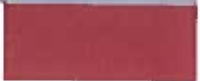


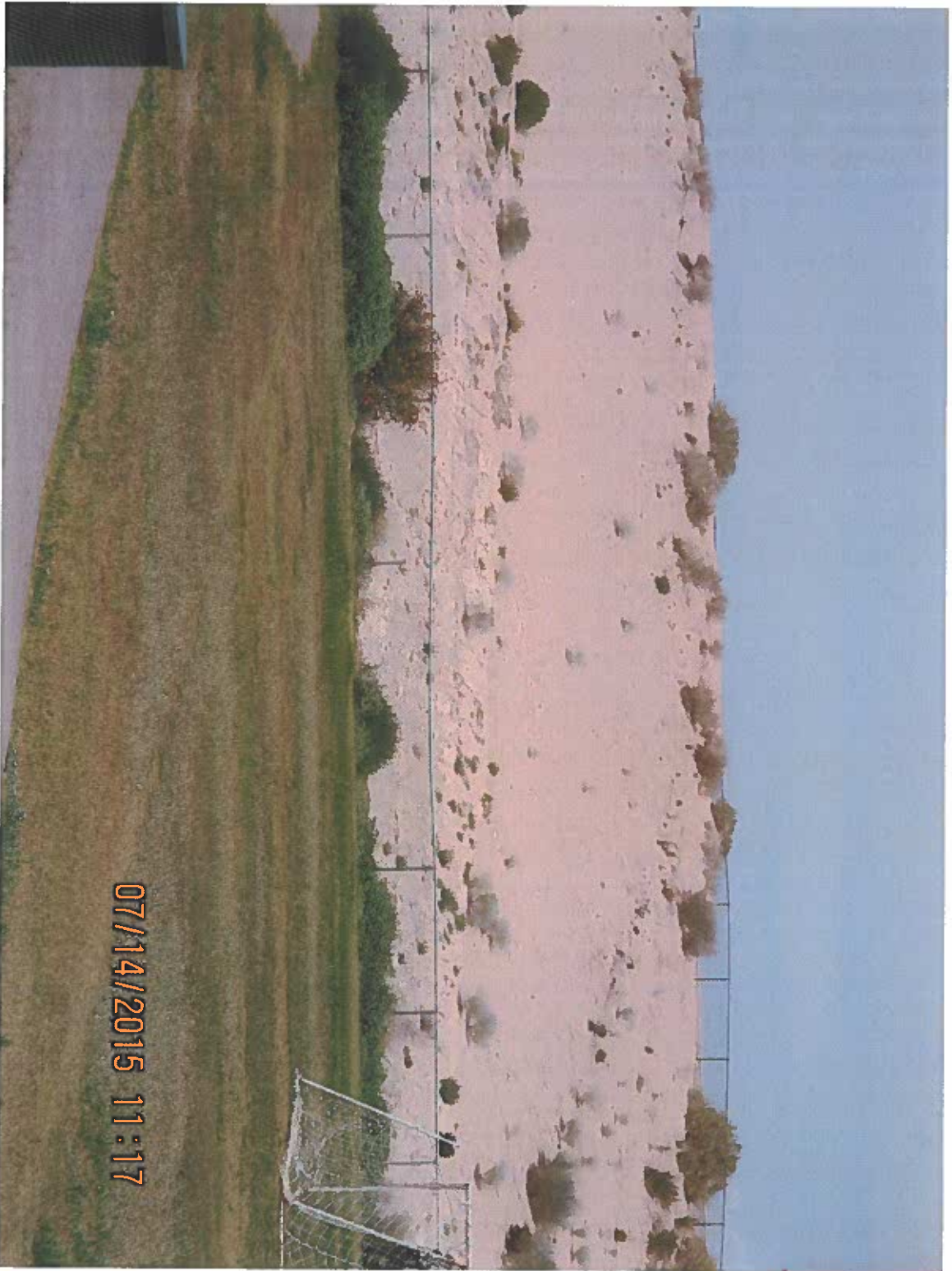
07/14/2015 11:14



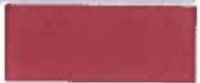


07/14/2015 11:17





07/14/2015 11:17



Concession Stand



